

CONSERVATION AREA AUDIT



MILLBANK

28



City of Westminster

This conservation area audit is accurate as of the time of publication, January 2005.

Until this audit is next revised, amendments to the statutory list made after 10 January 2005 will not be represented on the maps at Figure 12.

For up to date information about the listing status of buildings in the Millbank Conservation Area please contact the Council's south area planning team on 020 7641 2681.

Status: Adopted Supplementary Planning Guidance

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PREFACE

Since the designation of the first conservation areas in 1967 the City Council has undertaken a comprehensive programme of conservation area designation, extensions and policy development. There are now 53 conservation areas in Westminster, covering 76% of the City. These conservation areas are the subject of detailed policies in the Unitary Development Plan and in Supplementary Planning Guidance. In addition to the basic activity of designation and the formulation of general policy, the City Council is required to undertake conservation area appraisals and to devise local policies in order to protect the unique character of each area.

Although this process was first undertaken with the various designation reports, more recent national guidance (as found in Planning Policy Guidance Note 15 and the English Heritage Conservation Area Practice and Conservation Area Appraisal documents) requires detailed appraisals of each conservation area in the form of formally approved and published documents. This enhanced process involves the review of original designation procedures and boundaries; analysis of historical development; identification of all listed buildings and those unlisted buildings making a positive contribution to an area; and the identification and description of key townscape features, including street patterns, trees, open spaces and building types.

Given the number and complexity of Westminster's conservation areas the appraisal process has been broken down into three stages, the first of which is complete. This first stage involved the publication of General Information Leaflets or mini-guides for each conservation area covering in brief a series of key categories including Designation, Historical Background, Listed Buildings and Key Features.

The second stage involved the production of Conservation Area Directories for each Conservation Area. A Directory has now been adopted for 51 of the City's Conservation Areas and includes copies of designation reports, a detailed evaluation of the historical development of the area and analysis of listed buildings and key townscape features.

The City is now working on a programme to prepare Conservation Area Audits for each of its conservation areas. This will form the third and final stage of the appraisal process. As each audit is adopted as Supplementary Planning Guidance it will incorporate the Directory for that conservation area.

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1 INTRODUCTION

1.1 Conservation Areas are 'areas of special architectural and historic interest, the character and appearance of which it is desirable to preserve and enhance.' The City Council has a statutory duty to review the character and boundaries of its conservation areas. The Audit is the third, and final stage of the appraisal process. The overall appraisal strategy is based upon the English Heritage publication Conservation Area Practice.

1.2 The first stage (Mini-guide) and second stage (Directory) documents have already been adopted. The Mini-guide provides a brief description of the area and its characteristics. The Directory provided a detailed source of factual information. This has now been incorporated as part of the Audit providing an Appendix of factual information to the main body of the report.

1.3 The Audit describes both the historical development, and character and appearance of the conservation area. It is designed to identify and explain important local features such as unlisted buildings of merit, unbroken rooflines and local views. In addition the audit also seeks to apply relevant Unitary Development Plan policies to the local context in order to preserve and/or enhance the character and appearance of the area.

1.4 The Conservation Area Audit for Millbank Conservation Area was adopted as Supplementary Planning Guidance by the Cabinet Member for Customer Services on 10/01/2005. The Millbank Conservation Area was designated in 1969 and extended in 1990. The designation reports can be found in the first part of the Directory at the back of this document.

2 CONSERVATION AREA BOUNDARIES

2.1 Millbank Conservation Area is located in the South of the City of Westminster. It has an octagonal boundary covering the site of the former Millbank penitentiary including Ponsonby Place and terrace to the west and an expanse of the river embankment to the South (**Figure 1**).

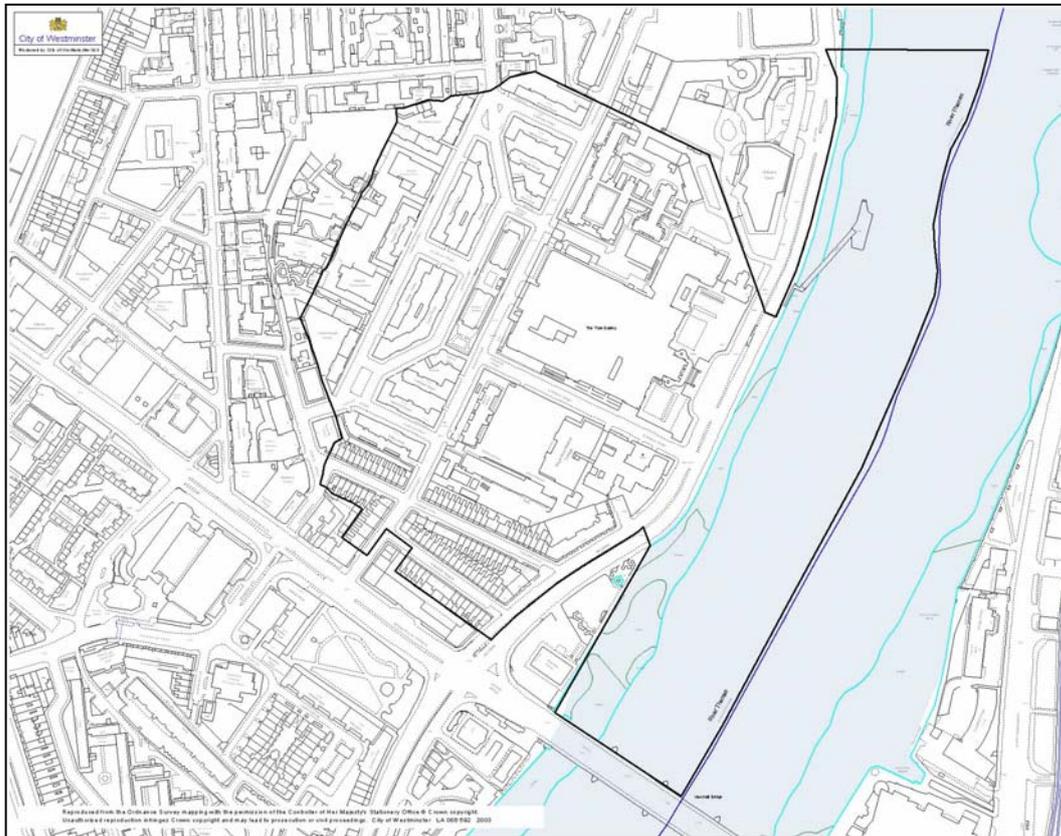


Figure 1: Millbank Conservation Area

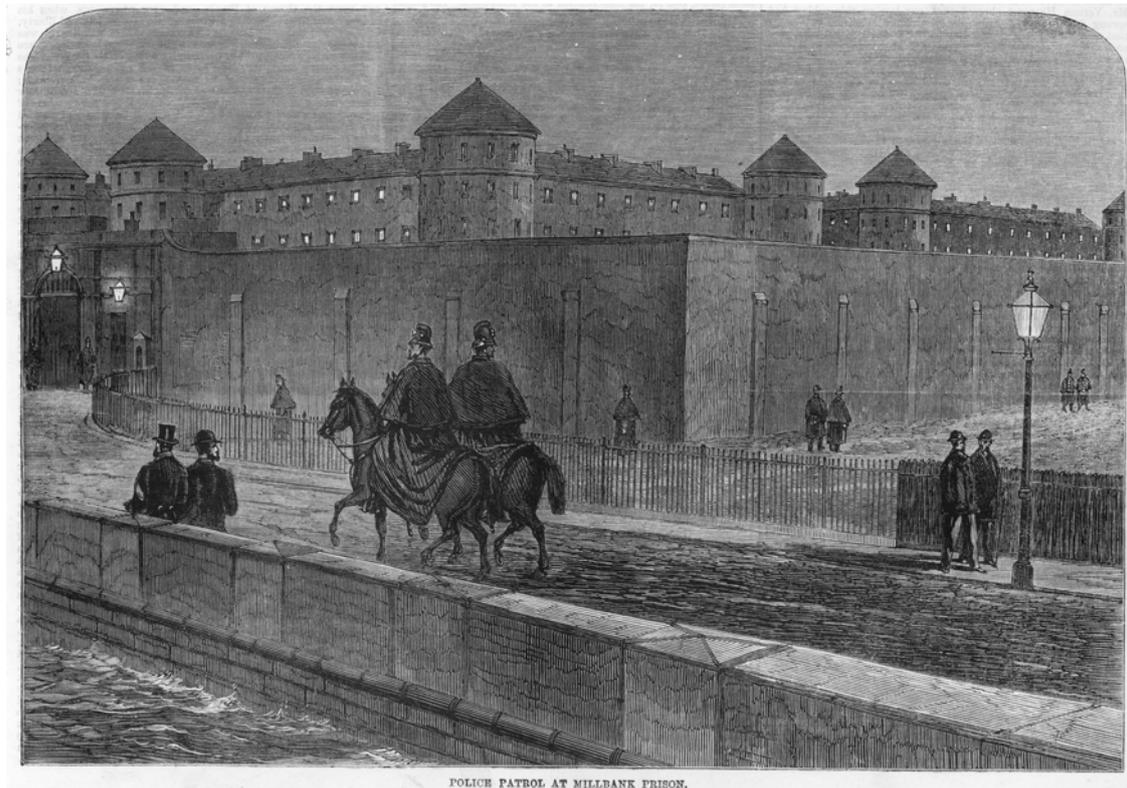
3 HISTORIC DEVELOPMENT

3.1 The Abbey Mill in Millbank was noted in the 1565 rate-books. It served Westminster Abbey, grinding flour from the wheat growing in the fields around the abbey. It was bought in 1721 by the Chelsea Water Company and demolished around 1736. Until the early 19th century this area remained relatively isolated but several large mansions stood along the present day line of Millbank, including Grosvenor House (the London home of the Grosvenors until 1806).

3.2 For most of the 19th century the river frontage to Millbank was dominated by the huge bulk of the Millbank Penitentiary, the first national prison. The plan form of the Penitentiary, which covered 18 acres, is clear in the boundary of the Conservation Area. The Penitentiary was built by Parliament in the early 19th century according to the philosopher Jeremy Bentham's 'panopticon principle', which allowed maximum surveillance of prisoners by warders at a central point. Its massive concrete foundations (an

early example of the material's use for this purpose) were retained during the redevelopment of the site. It had an impressive plan form of a symmetrical design with central hexagonal court surrounded by 6 pentagonal courts. It opened to the first prisoners in 1816 and was intended for prisoners awaiting transportation to the colonies. To the side of the Tate Gallery you can see the mooring stone that the penitentiary ships used to tie up to, before leaving for the colonies.

Figure 2: Millbank Penitentiary (Westminster Archives)



3.3 The early 19th century terraced housing around Ponsonby Place was developed around the Penitentiary and the influence of this vast complex is still evident in the layout of the properties. These were built by Thomas Cubitt as part of his speculative development of Pimlico and formed the easternmost point of his extensive master planning of the area. The grander properties front Millbank and are finished in stucco.

3.4 The site of the former penitentiary was developed over the course of fewer than 20 years (beginning with the demolition of the penitentiary in 1890 – see map at figure 3). To the east the site was developed for institutional and military uses providing a fine collection of buildings with the Tate Gallery forming the centrepiece. The Tate Gallery, now known as Tate Britain, was built as gallery dedicated to British Art and houses a fine collection of British art dating from 1500 to the present day. To the north of the Tate, a group of buildings was constructed to form the Queen Alexandra Military Hospital and on the south side the Royal Army Medical College was developed, providing accommodation for the Commandant, an officers mess, married quarters and a barracks block.

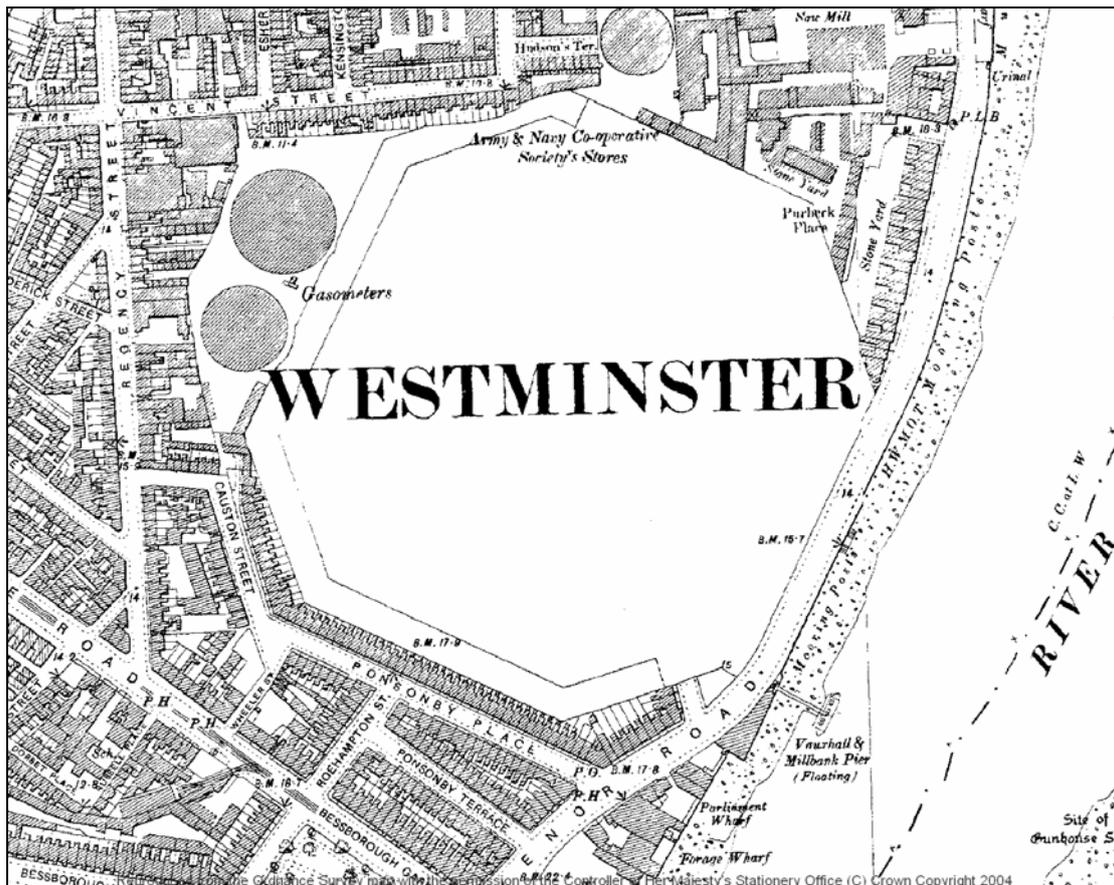


Figure 3: 1890 Ordnance Survey

3.5 The Millbank Estate, in the western part of the former penitentiary site, was one of the first large council housing estates for the working classes, and accommodated 4500 people. It is, by reason of its date and design, an important milestone in the development of local authority housing and the evolution of 'Arts and Crafts' principles of architecture as applied to large-scale housing projects. The Arts and Crafts movement was a reaction against the industrialisation of the Victorian era and sought to create new and more beautiful environments using fine craftsmanship and vernacular detailing. The quality of design, layout and materials at the Millbank estate set an important standard for the further development of that movement and social housing.

3.6 The original estate layout radiated from gardens on Dundonald Street and was contained within the boundaries of the former penitentiary. By 1910 this had broken through the northern side of Ponsonby Place (originally a continuous run of terraces) to join Roehampton Street (see figure 4). Later as the area north of the penitentiary site was redeveloped, Dundonald Street linked into this network to provide a continuous straight route from Vauxhall Bridge Road to Horse Ferry Road and was renamed John Islip Street.

3.7 Little has changed since 1914 when the conservation area had evolved into its present day form. The greatest change within the area was the widening of the Millbank Embankment in 1969. Just outside the conservation area to the north, the development of the Grade II listed 1962 Vickers Tower

(now named the Millbank Tower) has impacted significantly on the setting of the area and is dominant in views out of the area to the north.

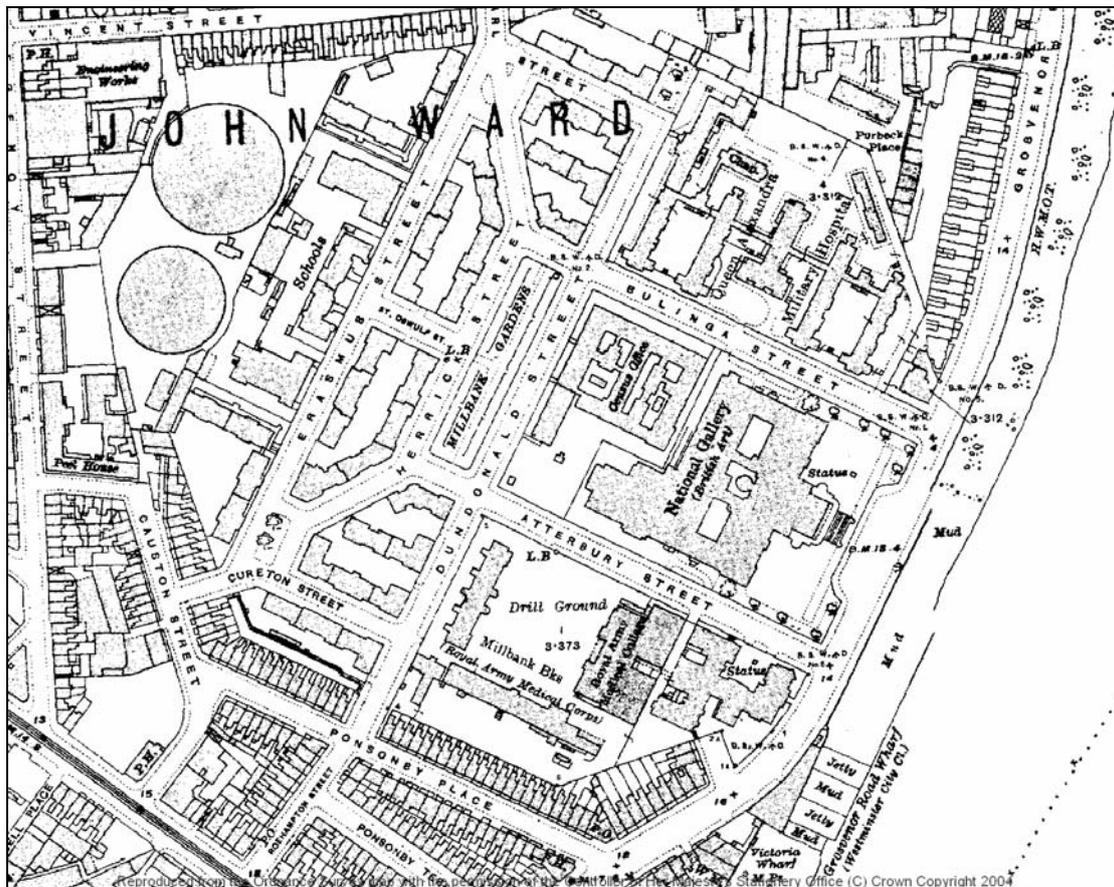


Figure 4: 1910 Ordnance Survey

3.8 The most notable addition is the Clore extension to the Tate Gallery by James Stirling, Michael Wilford & Associates. Commissioned in 1979, it was built between 1982-86 and is an early example of postmodernist architecture in this country. The gallery was given in memory of Sir Charles Clore to house the J M W Turner's bequest of painting and drawings.

3.9 More recent schemes include the Tate Centenary Development, opened on 1 November 2001, which provides a new entrance from Atterbury Street, improved visitor facilities and additional exhibition space. Millbank Pier, opened May 2003, is constructed of welded steel and was designed by David Marks and Julia Barfield with specially commissioned lighting by artist Angela Bulloch. This provides a river link between Tate Britain and Tate Modern.

3.10 The Royal Army Medical College has recently been acquired by the London Institute and is currently being refurbished and extended to form the new home of Chelsea College of Art and Design. This will provide studios, galleries, workshops, seminar rooms and support facilities. The former parade ground will be retained as open space in which to display works of art and will form an appropriate approach to the new Atterbury Street entrance to the Tate and from the south.

4 CHARACTER OF THE CONSERVATION AREA

GENERAL

4.1 The Millbank Conservation area is made up of four distinct character areas. Within the boundary of the former Millbank Penitentiary is the group to the east formed by Tate Britain, The Royal Army Medical College and Queen Alexandra Military Hospital, and to the west the Millbank Estate. Together these provide a high concentration of listed buildings. To the south are the 19th century residential terraces of Ponsonby Place and Ponsonby Terrace. Finally the area includes part of the Millbank Embankment and a larger stretch of the River Thames.

HIERARCHY OF STREETS & OPEN SPACES

4.2 The hierarchy of the street pattern and its interrelationship with the open space network will define the overall framework of an area. Within this the importance of the grain of development in terms of plot patterns and building lines will establish the pattern of the built form. All of these factors will affect the character of an area dictating the scale of development and the level of enclosure.

4.3 For the purposes of the conservation area audits the council has defined 3 categories of routes or spaces according to a combined analysis of their scale, level of enclosure and the function they perform within the area. These are:

- Primary routes and spaces
- Secondary routes and spaces
- Intimate routes or spaces

These are illustrated in **Figure 6**.

4.4 The conservation area is bounded to the south and east by broad, busy thoroughfares, Vauxhall Bridge Road and Millbank. Both are primary routes (the former outside the conservation area). Of great importance is the octagonal shape of the former Millbank Penitentiary site, not only for its definition of the shape of the conservation area but also for the surviving sections of wall (see Figure 5). This is an important historical and townscape characteristic of the area.

4.5 John Islip Street, lined with mature London Planes, follows a straight line from north-east to south-west and provides a green buffer between the Millbank estate and the institutional buildings by the river. Due to the sense of enclosure provided by the building forms, the mature street trees and the relatively low level of traffic, this is considered to be a secondary route. The roads within the Millbank Estate, also tree lined, are considered secondary routes, as are the residential streets of Ponsonby Place and Terrace.



Figure 5: The boundary of the former penitentiary, still marked by a ditch.

4.6 The former parade ground to the Royal Army Medical College is considered to be a secondary space, with a strong visual relationship with Atterbury Street and the open area to the south of the Tate from which there is now a secondary entrance into the Gallery. Other secondary spaces include the open spaces to the front of the Tate, that to the south linking into the open area along the Atterbury Street façade of the Gallery and that to the north with a more inmate feel with the additional enclosure from the Clore Gallery extension.

4.7 The open space defined by Herrick Street and John Islip Street and the two smaller spaces at either end of Erasmus Street provide secondary spaces within the Millbank Estate and are an important part of its formal layout.

4.8 The private internal courtyards to the Millbank estate are considered to provide intimate spaces. Other intimate spaces include the private courtyards and servicing areas relating to the Tate, former Royal Army Medical College and former Queen Alexandra Hospital.

Dominant patterns should be respected and where historic patterns remain these should be protected and reflected in any proposed schemes. Policies DES1 A 2, 4, 5, 6, 7 and DES 12 should be consulted.

FIGURE 6: Streets and Spaces



- Primary Route / Space
- Secondary Route / Space
- Intimate Route / Space
- Millbank Conservation Area

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ARCHITECTURE

Overview

4.9 The different parts of the conservation area each have distinctive but complimentary characters. The use of traditional materials, the broad leafy roads and long views down the principal streets are characteristics common to all of the parts of the conservation area. Tate Britain, of grand institutional design, is the central building within the conservation area. The scale of its composition, use of classical detailing and Portland stone ensure its dominance in the area and along the River Thames.

4.10 The Millbank Estate has consistent building heights of between 4 and 5 storeys (apart from the schools) which are complemented by the scale and height of institutional buildings to the east. The terrace of Ponsonby Place and surrounding streets are generally 3 storeys over basement, those facing Millbank of a grander scale, with mansard roofs and attic storeys to the end blocks.

Tate and Military buildings

4.11 The Tate Gallery dating from 1897, a gift of Sir Henry Tate, is by Sidney R J Smith with additions in 1909, 1937 and 1982-86 (see para 2.7). Constructed of Portland stone it has glazed and leaded roofs. In the late Victorian grand manner, there are Baroque details to the portico entrance



Figure 6: The Tate

reached by a flight of stone steps. The northern flank elevation has an austere appearance with little fenestration and modest detail confined mainly to the end and central bays. Shrapnel marks can be seen in the stone work from WW II. The basement has a large mural by Rex Whistler.

4.12 To the south of the Tate is the Officers Mess and Commandant's House and associated buildings, dating from 1904-7 and by J H T Wood and W Ainslie for the Royal Army Medical Corps. Built of brick with some red brick and mostly Portland stone dressings, there are Westmoreland slates to the roof and tall chimney stacks. This prominent composition is in a French Renaissance style. In the same group is the Millbank Barracks northwest range, (former married quarters) and south-west range, c1898, again of red brick with Portland stone dressings. Together these form an important group defining three sides of the former parade ground.

4.13 To the north of the Tate is the Queen Alexandra Medical Hospital, opened 1905. It has an elaborate Edwardian brick frontage with stone

detailing to John Islip Street. There is a feature bow window and decorated gable to the entrance bay and timber sash windows throughout. Attractive pavilion blocks trail off to the east, some have been demolished to allow for extensions to Tate Britain. The chapel remains behind the John Islip Street block. The buildings collectively make a positive contribution to the character and appearance of the conservation area.

4.14 On Millbank to the north of the Tate is a three story red brick property built as the lodge to the Queen Alexandra Hospital which has since become separated by the extensions to Tate Britain. Built of red brick it has stone facing to the ground floor and stone surrounds to the windows, which retain timber frame sashes. With a slate pitched roof it has a domestic appearance and helps enclose the northern open space to the front of the Tate. Together with the Royal Army Medical Corps buildings it provides a seemingly 'frame' contributing to the setting for the Tate Gallery.



Figure 6: Queen Alexandra Military Hospital

Millbank Estate

4.15 The Millbank Estate, 1897-1902, is one of the first and most significant London County Council estates. Built by the Architects Department Housing Section under Owen Fleming, it is likely that R Minton Taylor was responsible for the layout. Inspired by the work of the architects Webb, Lethaby and Smith and Brewer, this scheme of Arts and Craft style social housing has Queen Anne features and radiates from a rectangular public garden.

4.16 The blocks are all of a similar style but have varying details, for example some have tower features, each matching its corresponding block in the symmetrical layout to either side of the garden. They are of red brick with slight stone dressings and some rendering. The fenestration is mixed but



Figure 7: Millbank Estate

predominantly of painted timber frame sliding sashes, with projecting cills and brick arches. Windows are of varying sizes and shapes, arranged in differing patterns reflecting internal layouts. There are hoods to the entrances, some

with recessed porches within the courtyards. Rainwater goods are of dark painted cast iron. Of particular importance is the attractive and well-articulated roofscape with hipped slate and clay tile roofs and steep gables defining the ends and centre of blocks, as well as dormers set in overhanging eaves and flat eaves to runs of 'weaver casements'. Further interest to the skyline is provided by tall chimney stacks.

4.17 Hogarth House on Erasmus Street is listed Grade II*. It is the first block to be started on site in 1899 and is the winning design, by Spalding and Cross, of a competition held by the LCC and its Architects Department. Millbank Primary School and Adult Education Centre and Millbank Primary School and Play Centre flank either side of Hogarth House and are 1901 London Board School developments. Of 1 and 2 storeys respectively they follow the architectural style of the estate. The other buildings on the estate are all listed Grade II.

Ponsonby Terrace and environs

4.18 Nos. 46-57 are a terrace of houses, c.1843-45, and an early part of Thomas Cubitt's Pimlico development, designed either by Thomas or his brother Lewis. They form a symmetrical composition, finished in stucco with slate roofs and terminal pavilion blocks. Nos. 46 and 47 form a north return elevation to the right. They have channelled ground floors and a moulded cornice and blocking course. No 58, the Morpeth Arms Public House (c1845) is from the same phase of development and has similar details, with a later addition to the rear by William Hunt 1898.

4.19 The properties along Ponsonby Terrace and Place leading off Millbank are less grand. They retain a uniform appearance and are of stock brick with typical detailing including channelled stucco ground floors and Italinatate style window surrounds, many retaining the flat pediment with brackets. Simple cornice details remain to the parapet completing the composition of the facades. The roofline remains remarkably intact, with London roofs set behind the parapet cornice and the regular rhythm of the chimney stacks and pots providing interest to the skyline. The slight projection of some properties provides a subtle detail and overall structure to the terraces.

Painted, timber single glazed sliding sash windows of the original design predominate. Many original timber panelled doors also remain. Further guidance on repair and alteration to these properties can be found in the Westminster City Council's 'Pimlico Design Guide'.



Figure 8: Ponsonby Terrac

Embankment and River Thames.

4.20 In contrast to the built up areas is the open space of the River Thames corridor with good views northwards from Vauxhall Bridge towards the Palace of Westminster and the City of London. This section of riverbank includes fine mature Plane trees, providing a soft edge to this otherwise hard landscape. Millennium Pier is a recent addition in the Conservation Area.



Figure 11: The Thames at Millbank

4.21 The mature trees along Millbank are a continuation of those along the northern part of Millbank and Victoria Embankment beyond; the Embankment wall dates from the widening of the road in 1969. The landscaping of open space to the south, outside the conservation area but bounded by it, has become outdated and is poor, though of note is the sculpture 'Locking Piece' by Henry Moore. Major landscaping works incorporating the Thames path, grass terraces, handrail and wall are planned for this area of garden in 2004/5.

Any proposal should take into account the character of its context. Policies, DES1 A 3 and 4 and DES4 should be consulted on the Principles of Development and DES5 A and B should be consulted on alterations and extensions. DES4B should be referred to for scholarly replicas within terraces of unified townscape and/or DES4A in terms of respecting adjoining buildings in areas of varied townscape.

Policy DES 9 C states that the council will not allow schemes which involve loss of original features and where these are missing their reinstatement to the original design detail and materials will be encouraged.

Unlisted buildings of merit

4.22 The vast majority of the buildings are in keeping with the character of the conservation area, most contributing in a positive manner. Those properties or developments which are considered to harm the character of the conservation area are identified in the section 'Negative Buildings' below

4.23 There are numerous buildings or groups of buildings that are not listed but are considered to be of merit. This may be due to their townscape or group value, their contribution to the overall character of the area, their architectural qualities or historical or cultural associations. They are defined in the Audits as unlisted buildings of merit.

4.24 By definition these properties are of particular value to the character and appearance of the conservation area and their demolition or unsympathetic alteration will normally be resisted. Buildings identified as unlisted buildings of merit in the conservation area are listed below and shown at **Figure 12**.

4.25 With regards to the Queen Alexandra Military Hospital reference should also be made to the committee resolution dated 18 April 2002 which outlines the councils agreed approach to the future of the hospital complex and the masterplan for its redevelopment.

John Islip Street

Queen Alexandra Hospital: (For extent see Figure 12)
Nos. 2-11 (consec)

Millbank

No. 44a
Nos. 60-64(consec)

Ponsonby Place

Nos. 1-43 & 53-77 (odd)
Nos. 2a, 2-28 & 28a-42 (even)

Ponsonby Terrace

Nos. 1-11 & 23-35 (odd)
Nos. 2-36 (even)

<p>Policy DES9 2 states that permission will not normally be given for proposals which involve the demolition or partial demolition of buildings which contribute positively to the character and appearance of the conservation area. Permission will only be granted where it can be demonstrated that the existing building cannot be repaired or adapted so as to extend its useful life and that the proposed development will preserve or enhance the character or appearance of the area. This requirement may be balanced against the City Council's other policy objective.</p>
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Figure 12: Listed Buildings and Unlisted Buildings of Merit



Landmark buildings

4.26 Within the conservation area there are also buildings which are considered to have landmark quality. Due to their height, location and detailed design such buildings stand out from their background and may be focal points or key elements in views.

4.27 Tate Britain is an important landmark building and a key element in the sequence of views along the river. Also of interest but overshadowed somewhat by the Tate is the river frontage building of the former Royal Army Medical College which is also considered to be a landmark along the River Thames frontage. Landmark buildings are shown at **Figure 12**.

Roof Profiles and Extensions

4.28 Roof profiles make a significant contribution to the character and appearance of the conservation area. Roof extensions and alterations are not always acceptable as they can have a negative impact on original roof detail. Policy DES6C highlights instances where roof extensions would not be acceptable. This includes terraces where the existing roofline is largely unimpaired by any extensions or alterations; buildings that are significantly higher than their neighbours; buildings or terraces which are complete compositions or which have existing roof extensions; where there is an unbroken line of butterfly roofs; and where a roofline is visible in long views of public spaces.

4.29 In Millbank Conservation Area, the majority of buildings retain historic roof forms, are part of a uniform terrace with consistent rooflines or are complete compositions in their own right. As such, roof extensions are unlikely to be considered acceptable in any location within the conservation area without full and proper justification.



Figure 13a: Uninterrupted rooflines of Ponsonby Terrace



Figure 13b: Steep Mansards, dormers and tall chimneys to the Millbank Estate

4.30 Clutter such as antennae and satellite dishes can also have a significant and detrimental impact on the character of the area affecting both short and long distance views and careful consideration should be given to the siting of such equipment to minimise its visual impact. They should be located

away from the front façade of buildings and roofs, chimneys or other locations where they would be highly visible.

4.31 The original roof coverings within the Conservation Area should be retained wherever possible. The Council will not normally encourage the use of modern materials such as concrete tiles or artificial slate as they rarely meet the high quality, appearance or longevity of traditional natural materials. Original features such as chimneys, ridge tiles, dormers and metal rainwater goods also contribute to the roofscape of the conservation area and should be retained.

Policy DES6A highlights instances where roof extensions are likely to be unacceptable in townscape terms without proper justification.

Further advice is given in the publication 'Roofs. A Guide to Alterations and Extensions on Domestic Buildings (1995).'

METROPOLITAN AND LOCAL VIEWS

4.32 Policy DES15 in the Unitary Development Plan defines two categories of views which contribute to Westminster's townscape and historic character.

- Metropolitan views include both views from Westminster to other parts of London and views from other parts of London into Westminster, such as views along and across the river Thames. They also include views within and across Westminster, particularly views of landmark buildings.
- Local views are by definition more localised and can be of natural features, skylines, smaller landmarks and structures as well as attractive groups of buildings and views into parks, open spaces, streets and squares.

4.33 A separate Borough wide document will be produced identifying views of Metropolitan Importance which will undergo full consultation before being adopted as Supplementary Planning Guidance.

4.34 Full consideration must be given to the impact of any development proposals on important metropolitan and local views both within the conservation area and into and out of it. The area is not affected by any Strategic Views.

Metropolitan Views

4.35 One preliminary Metropolitan view has been identified (see **Figure 14**):

View of development along north bank of Thames from Vauxhall Bridge

The river frontage in the conservation area, with the numerous listed buildings and mature London Plane trees plays a key part in the panorama looking north from Vauxhall Bridge. The view focuses on Tate Britain in the

foreground, with the towers of the Palace of Westminster in the middle ground, and continues beyond towards the City of London.

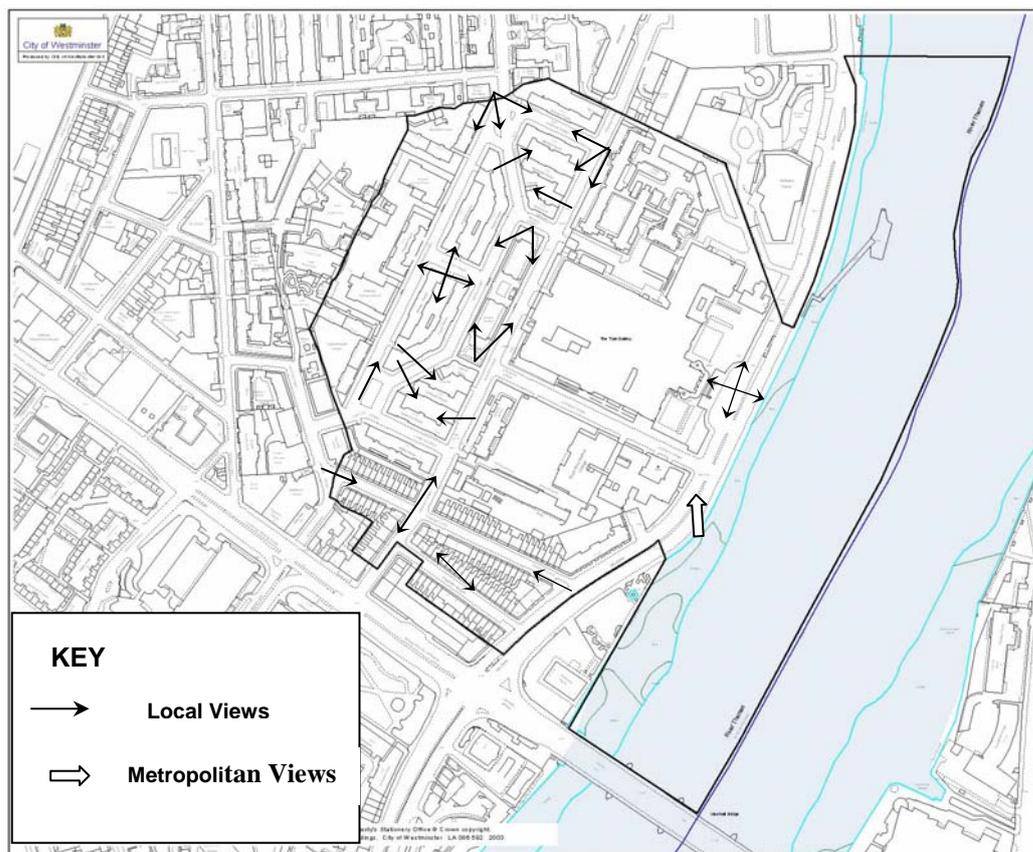
Local Views

4.36 There are local views of landmark buildings, listed buildings, unlisted buildings of merit and the River Thames corridor from within the conservation area. These include:

- View across the river to Lambeth Palace from the Embankment in front of Millbank Tower
- The mature Plane trees in John Islip Street produce a distinctive view along the route in both directions
- Views throughout the Millbank Estate along the formal layout, into the internal courtyards and from the public open spaces
- Views along Ponsonby Terrace and Ponsonby Place
- Views of the listed buildings along the river frontage
- View from Tate Britain portico over the River Thames

This is not an inclusive list and others are shown in **Figure 14**.

Figure 14: Views



In the Unitary Development Plan Policy DES14 seeks to protect strategic views across the city, resisting development that impinges or adversely affects these views. Policy DES15 seeks to protect metropolitan and local views.

LOCAL TOWNSCAPE DETAIL

4.37 Local townscape details contribute to the sense of local distinctiveness and may be unique to a particular conservation area. They can range from boundary treatments to the landscape qualities of the streetscape. Individually and collectively they contribute to the overall quality of Westminster as well as enhancing individual areas of character within the City.

Railings, Boundary Walls & Enclosure

4.38 Railings and boundary walls can contribute significantly to the character of a conservation area. The City Council considers that they should be protected and properly maintained. They add interest and richness and provide a sense of enclosure, separating areas of differing character and marking the boundaries between public and private space. The City Council has, in some cases, control over their removal.

4.39 Millbank Conservation Area has numerous examples of original railings, with long and unbroken runs of iron railings with spearheads to the basement areas of the early Victorian terraces of Millbank (listed), Ponsonby Place, Ponsonby Terrace and part of John Islip Street.

4.40 The railings to the Tate Gallery are Grade II listed. Dating from 1897 they are part of the original R. J. Smith gallery design. At the front of the gallery, the railings are very ornate with wrought finials and laurel wreath details between stone piers. Plainer railings and piers can be found to other parts of the gallery site.

4.41 The Royal Army Medical College has square sectioned railings between brick piers to much of its perimeter. Original railings enclose the front area of the former Queen Alexandra Hospital on John Islip Street.

4.42 Within the Millbank Estate, areas of original boundary walls and railings survive in front of each of the two schools on Erasmus Street and to an original drying area directly south of Wilkie House. The Millbank Estate underwent a programme of streetscape improvements including new low walls and railings in the late 1990's.

4.43 The stone wall to the Embankment dates from the widening of the roadway in 1969.

The relevant City Council policy in respect of these is DES7 G and further guidance can be found in the design guide 'Railings in Westminster A guide to their design, repair and maintenance.'

Historic Shopfronts

4.44 Shopfronts, including well-designed non-original ones, can be of great importance in contributing to the character and appearance of both individual

buildings and the conservation area. Some are of historic and architectural interest in their own right.

4.45 There are a number of Victorian and traditionally designed shopfronts in the early Victorian terraced streets in the southern part of the conservation area. Each of these properties has good timber shopfronts and all of them retain the pilasters and fascia to the surround, some also retain console brackets. These can be found at:

28a Ponsonby Place
42 Ponsonby Place
8 John Islip Street
10 John Islip Street
36 Ponsonby Terrace

4.46 No 28 Ponsonby Place has a poor replacement aluminium shopfront, a full width solid security shutter and modern PVC fixed blind which are considered to be negative features. Inappropriate fixed uPVC blinds can also be found at No. 10 John Islip Street (which has inappropriate box signage to the fascia and a solid security shutter to the door) and to the door of No 28a Ponsonby Place. The traditional retractable blind to No. 36 Ponsonby Terrace is the appropriate style and design of blind for the area.

4.47 Also in the area is the grade II listed c.1845 Morpeth Arms Public House at the corner of Millbank and Ponsonby Place. The channelled ground floor has a splayed corner entrance and large flat arched bar windows under an entablature fascia, and good timber doors and windows. There is a good later addition of red brick with stucco detailing to the rear.

4.48 The city council seeks to retain original shopfronts wherever possible. Alterations and new signage should be carefully designed and use materials and detailing to match the age and style of the existing building. Unsympathetic alterations, signage and security shutters will be resisted.

The relevant City Council policies concerning historic shopfronts and the design of new ones are DES5 C, and the policy relating to signs is DES8. Reference should be made to the design guide 'Shopfronts, Blinds and Signs: A Guide to their Design' (1990) and 'Advertisement Design Guidelines' (1992).

Public Art, Statues and Monuments

4.49 Many of the country's most important monuments and statues are to be found in Westminster and they are of significant importance to the townscape of the City and many of these are listed.

4.50 The Tate Britain gallery hosts some exceptional statuary, both within the grounds and upon the building. The pediment to the great portico acts as a base for a trio of statuary, consisting of a seated Britannia with trident and

shield, a lion and a unicorn (1897). Balconies to the left and right of the main entrance support statues depicting Dirce and the Bull (1906) and Perseus and Andromeda (1893) respectively. As parts of the Tate building these statues are all grade II* listed.

4.51 In the grounds of the Tate, at the corner of John Islip and Atterbury streets stands a statue of Sir John Millais (1829-1896), a founder member of the Pre-Raphaelite Brotherhood by Brock. The statue is grade II listed.

4.52 Mounted on the wall of 48 Millbank is 'Jete', a sculpture of ballet dancer David Wall in mid leap, unveiled in July 1985.

Policy DES 7 (A) in the UDP encourages the provision of public art in association with all large development proposals.

Street Furniture

4.53 Westminster has an outstanding heritage of interesting and historic street furniture, much of which is listed. The appropriate maintenance and protection of these structures is important, as is the need to prevent street clutter from detracting from their setting.

4.54 There is a Grade II listed 'K2' type telephone box by Gilbert Scott on Millbank adjacent to No. 48. Other red telephone boxes are in front of the Tate Gallery and a pair at the junction of Herrick and St Oswulf Streets. A red oval sectioned 1958 double aperture post-box stands on John Islip Street to the rear of the Royal Army Medical College.

4.55 The lampstandards along most of the secondary routes within the conservation area are replica Grey Wornums. Those to John Islip Street are of a modern utilitarian design. The single lantern lampstandards along Millbank are being replaced with those of a design to match the more traditionally detailed ones with double lanterns in the centre of the carriageway.

Policy DES7 C & F is intended to protect these historic and characteristic features of the street scene.

Historic floorscapes

4.56 Historic floorscapes are important elements in the townscape of an area and often an integral part of landscaping schemes in an urban environment. This can include major city squares or a mews. Paving, if well-designed and maintained and in suitable quality materials, will contribute to the townscape qualities of an area, often by providing a backdrop to the surrounding built fabric.

4.57 Granite kerb stones remain throughout the Millbank Conservation Area and provide a high quality edge to the footway. Of note is the raised footway to the western end of Ponsonby Place with the stepped granite curb stones.

For guidance on best practice relating to both street furniture and public realm works, the Westminster Way is the council's emerging public realm manual.

Trees and Soft Landscaping

4.58 Trees provide significant amenity value in an urban environment in both visual and environmental terms. They contribute significantly to the character and appearance of conservation areas. A single specimen can provide a focal point whilst groups of mature trees and street trees may be part of an historic planting scheme or an integral part of an estate layout. Anyone who wants to cut down or prune a tree in a conservation area must give the city council six weeks notice of this intention.

4.59 Groups of mature trees make a significant contribution to the townscape of the Millbank Estate, creating leafy corridors which provide texture and colour complementing the picturesque qualities of the Arts and Crafts architecture. They provide a green foil to the blocks and strengthen the domestic character and scale of the estate, particularly along John Islip Street.

4.60 Elsewhere mature trees contribute to several views within the area and are important in the setting of the listed buildings, particularly Tate Britain and the former Royal Army Medical College. Trees also compliment views to the rear of the Clore Extension to the Tate Britain from Millbank.

4.61 The line of mature Planes along the Embankment river walk is an important characteristic of the river edge. The semi-mature trees along the northern side of Atterbury Street provide some enclosure to the open northern side of the former parade ground.

4.62 Millbank Gardens, the public open space to the rear of the Tate between John Islip Street and Herrick Street, and the two smaller areas at either end of Erasmus Street, provide areas of landscaping which complement the numerous street trees and add significantly to the townscape of the Millbank Estate.

UDP policy ENV 14 seeks to protect trees which make a significant contribution to the character and appearance of a conservation area. Appropriate protection and management of trees will be encouraged. Advice on trees and their protection is given in the City Council design guide, 'Trees and Other Planting on Development Sites.'

CHARACTERISTIC LAND USES

4.63 Land uses also contribute to the character and appearance of conservation areas. This will not only have a direct influence on the building typology or make-up of an area but also on the nature and use of the public spaces and streets. Particular uses may be of historic or national importance and will have dictated the evolution of an area.

4.64 There is a clear split between residential and institutional uses in the conservation area, with the latter concentrated along Millbank. This includes Tate Britain, the former Queen Alexandra Hospital (now part of the Tate) and the former Royal Army Medical College complex now to become part of the London Institute.

4.65 The LCC Millbank Estate was built without any commercial premises, the only buildings given over to non-residential use being the two schools flanking Hogarth House. The area to the south-west around Ponsonby Terrace is mainly residential but includes some shops at the junctions with John Islip Street and a Public house facing Millbank providing local nodes of activity.

4.66 The City Council will consider the contribution of existing and proposed uses to the character or appearance of the conservation area. DES9 D is the relevant UDP policy.

5 NEGATIVE FEATURES

5.1 Negative features detract from the special character of an area and present the opportunity for change, which will enhance the character and appearance of an area. It may be that simple maintenance works could remedy the situation, or in some cases there may be the opportunity to redevelop a particular site.

5.2 Those buildings or features considered to have a negative impact on the character and appearance of the conservation area include:

- No 28 Ponsonby Place has a poor replacement aluminium shopfront, full width solid security shutter and modern PVC fixed blind.
- No. 10 John Islip Street has inappropriate fixed UPV blinds, box signage to the fascia and a solid security shutter to the door.
- 28a Ponsonby Place has inappropriate fixed UPV blind to the door.
- View into servicing area at rear of Tate.
- The modern utilitarian fencing to the parade ground and John Islip Street frontage of the Royal Army Medical College.

The city council will take appropriate steps to ensure the preservation and enhancement of its conservation areas. Schemes for the improvement and enhancement of conservation areas will be encouraged and initiated where possible. Any proposal will be judged against policies DES1 and DES9.

MILLBANK CONSERVATION AREA DIRECTORY

Designation and Extension

Listed Buildings and Other Designations

Further Reading & Contacts List

Audit Designation Report and Statement of Decision.

DESIGNATION AND EXTENSION

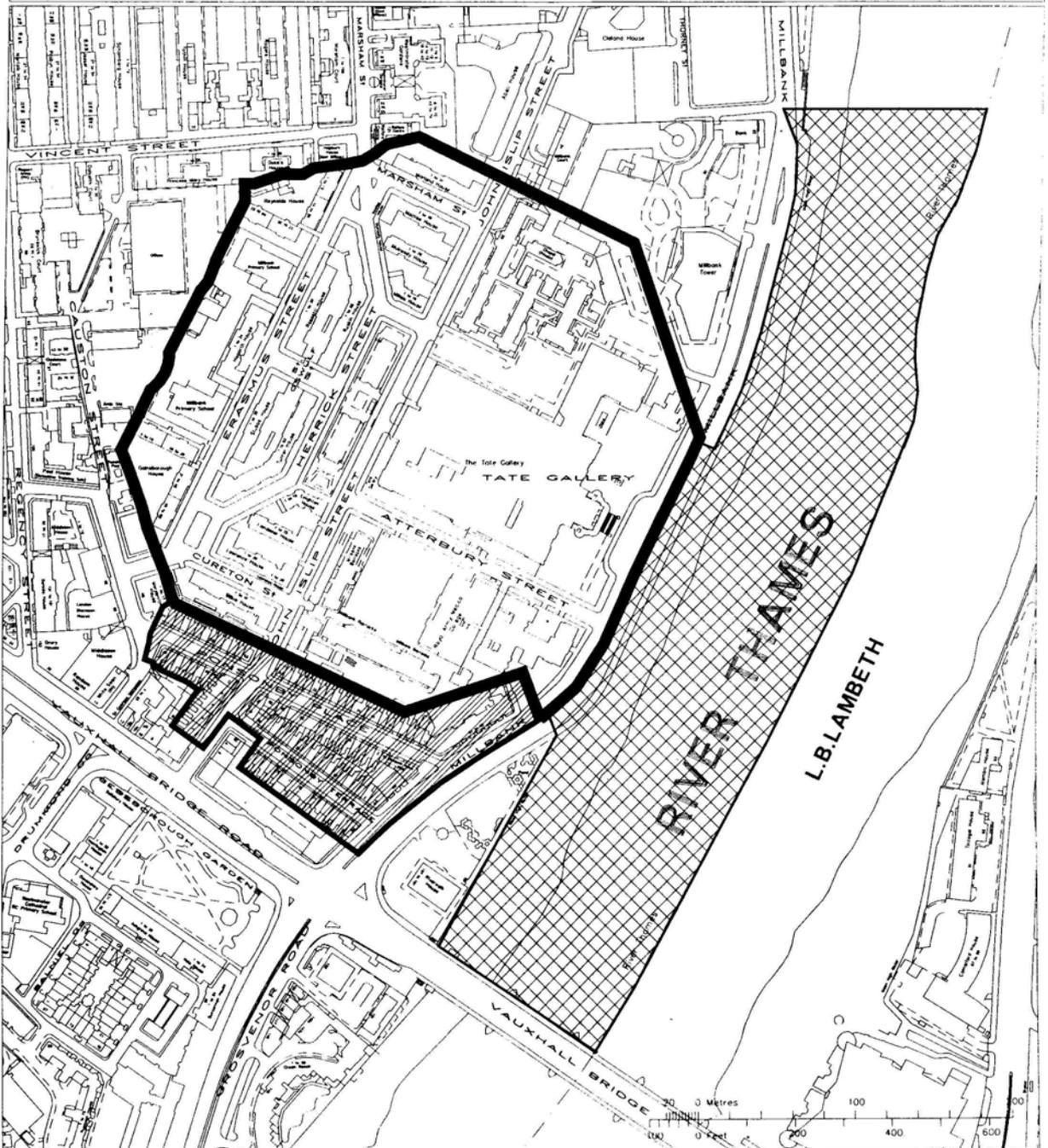
The Millbank Conservation Area was first designated in 1969 covering the octagonal site of the Millbank Penitentiary. It was extended in 1990 to include the river embankment and the Westminster half of the Thames, between the Vickers Tower and Vauxhall Bridge, and Ponsonby Place area.

The following reports are attached:

Original Designation 27 March 1969

Proposed Extension: 21 November 1989, 20 March 1990, 3 July 1990,
20 November 1990

MILLBANK CONSERVATION AREA 1969-1990, THE EVOLUTION OF THE CONSERVATION AREA



BASE MAP REPRODUCED/DERIVED FROM THE ORDNANCE SURVEY WITH THE PERMISSION OF THE CONTROLLER OF HER MAJESTY'S STATIONERY OFFICE. © CROWN COPYRIGHT (YEAR AS MAP DATE). WESTMINSTER CITY COUNCIL LA 086 592

CONSERVATION AREA NUMBER 28

1969-1990 CHANGING BOUNDARIES

Scale - None

-  1969 DESIGNATION
-  1989 ADDITION
-  1990 ADDITION



CITY OF WESTMINSTER

TOWN PLANNING COMMITTEE - 27 MARCH 1969

DESIGNATION OF CONSERVATION AREAS

- A. VINCENT SQUARE AREA
- B. MILLBANK

REPORT BY THE DIRECTOR OF ARCHITECTURE AND PLANNING

In accordance with the report accepted by Committee on 29 June 1967, concerning the Civic Amenities Act 1967, and conservation areas, studies have now been made of two further areas south of Victoria Street, namely the Vincent Square area and the area behind and including the Tate Gallery.

In the triangle formed by Victoria Street, Vauxhall Bridge Road and the Embankment, the most important buildings are those associated with the Abbey and the Houses of Parliament and the groups of houses extending as far as Smith Square: these will be the subject of a later study for a conservation area embracing Whitehall and Trafalgar Square. In the remainder of this triangular area there are only two small areas containing groups of buildings which are worth consideration as conservation areas.

A. Vincent Square Area

Vincent Square, too large to be considered a formal open space, was enclosed gradually by buildings which were never part of a coherent scheme or pattern. The earliest of these of which Nos. 3 and 4 (a pedimented semi-detached pair) and 7 and 8 (part of a terrace) are the sole survivors, were put up in the late eighteenth century; the houses Nos. 84 and 85 (a pair) and 86 are of slightly later date, and give a good idea of what many more of the houses in Vincent Square looks like formerly. Together with the mid-Victorian houses on the east side, Nos. 5, 6 and 9-20, they form an interesting group flanking the eastern corner of the square, with Maunsel Street containing two rows of small early nineteenth century houses running north-east from the north side; some of the houses in Maunsel Street have been rebuilt in character, a few unfortunately in an unsympathetic bright red brick but still of the same height, so that the scale of the street is maintained. It is suggested that the conservation area should embrace the eastern corner of Vincent Square with the house mentioned in Maunsel Street. It should be pointed out however, that the houses Nos. 3-13 Vincent Square are included in a defined site for a Primary School programmed second period.

B. Millbank

The Millbank Penitentiary built in 1812-20 and demolished in 1980 occupied an octagonal site whose outline can still be clearly traced. A portion of the site facing the river was taken for the Tate Gallery, the first part of which including the porticoed entrance was built in 1897 (architect, Sidney R J Smith), and on either side of the Tate are military medical establishments of Edwardian and later dates occupying further parts of the Penitentiary site. John Islip Street, running north to south, almost bisects the octagon, the institutions already mentioned occupying the larger eastern portion.

The Tate Gallery occupies a very prominent position overlooking the river, and with either the existing portico or new front will have a very marked effect on the appearance of this embankment from the river; the flanking buildings are not themselves of any architectural value, but are of significance in relation to the Tate whatever the future of these sites.

The western portion is taken up by the Millbank Estate, which was built in 1897-1902 by the LCC; it was the first time that a large scheme of working class flats (4,500 people) was put up which was humane and pleasant to look at; Hogarth House, and probably the whole layout, are by R Minton Taylor under the LCC architect W E Ripley. The composition is symmetrical about the centre of Hogarth House, the earliest and most elaborate of the blocks; it faces across the Gardens towards the messy accretions of the Tate Gallery where it should have received a west facade; it is unfortunately that a garden shelter has been erected on this axis throwing it up into such prominence. The blocks of flats are of varying length and shape around a formal road pattern. The buildings themselves are generally restrained in character and free of the fussy detail which belongs to such building of that period, but they have enough sensitive variation in window proportion and position, in roof treatment and in their relationship to one another to avoid altogether the risk of monotony. They are generally of five storeys, the ground storey of dark brick; the upper storeys generally of medium red brick, with slight stone dressings; the top storey however shows a pleasing variation in treatment with dormers, steep gables in brickwork or rendered brickwork with a smaller scale of windows in place of the general red brick and sliding sashes.

The Tate Gallery is on the statutory list of buildings of architectural or historic interest and it is understood that the buildings forming the Millbank Estate will be put on the statutory list when this is revised, and it is important to note that the Greater London Council has recently undertaken substantial renovation and modernisation of these blocks of flats.

It is suggested therefore that this conservation area should be contained by the boundaries of the octagonal site of the former Penitentiary.

Recommendation

1. That the areas shown on plan CD.V.0013 (attached hereto) be approved as suitable for designation as conservation areas subject to consultation.
2. That the Greater London Council be consulted both as major landlords and as a statutory planning authority.
3. That the Trustees of the Tate Gallery be consulted.
4. That the Civic Trust, Georgian Group, Victorian Society, Westminster Society and the Westminster Architectural Society be consulted.
5. That the ILEA be consulted.

F G WEST
DIRECTOR OF ARCHITECTURE AND PLANNING

CITY OF WESTMINSTER

STATUS : FOR GENERAL RELEASE

COMMITTEE : PLANNING AND DEVELOPMENT

DATE : 21 NOVEMBER 1989

REPORT OF : DIRECTOR OF PLANNING AND
TRANSPORTATION

SUBJECT : PROPOSED CONSERVATION AREA EXTENSION
DESIGNATION AT:

(i) MILLBANK, SW1 TO INCLUDE PONSONBY
PLACE, PONSONBY TERRACE AND
FRONTAGES TO MILLBANK

(ii) STRAND CONSERVATION AREA TO
INCLUDE THE NORTHERN HALF OF THE RIVER
THAMES FRONTAGE, WC2

(iii) SOHO, WC2 TO INCLUDE EAST SIDE OF
LEICESTER SQUARE AND ADJOINING
FRONTAGE OF CHARING CROSS ROAD

WARD : MILLBANK, ST. JAMES'S AND WEST END

BACKGROUND PAPERS : NIL

1. SUMMARY

1.1 (a) As part of the City Council's policy quoted in the District Plan (Chapter 10, para 10.44(ii)): 'to review its conservation areas and boundaries periodically, and whilst doing so to take account of any representations of interested parties', three further small extensions to existing conservation areas are proposed at:

1. Millbank, SW1
2. Strand, WC2
3. Soho, WC2.

(b) It is also proposed that the southern part of the Soho Conservation Area should be renamed 'The Leicester Square Conservation Area'.

1.2 This report therefore seeks the Committee's approval in principle to the designation of the three areas as conservation areas extensions and the renaming of the southern portion of the Soho Conservation Area as 'The Leicester Square Conservation Area' (see Map No. 4) Authority to proceed with the consultation necessary prior to final designation and renaming is also sought.

- 1.3 The findings of the consultation will be reported back to Committee for final designation and renaming.

2. RECOMMENDATIONS

- 2.1 (a) That the proposed extensions to three conservation areas:

- (i) Millbank, SW1 - as shown on Map No. 1
- (ii) Strand, WC2 - as shown on Map No. 2
- (iii) Soho, WC2 - as shown on Map No. 3

be approved in principle for designation as conservation areas and that the southern portion of the Soho Conservation Area is renamed 'The Leicester Square Conservation Area' - as shown on Map No. 4.

- (b) That the results of the consultations be assessed and reported back to Committee to approve the areas as subsequently defined.

3. BACKGROUND

3.1 The Proposed Extension to Millbank Conservation Area

It is proposed to include Ponsonby Place and Ponsonby Terrace and the adjoining portions of John Islip Street and Millbank which lie close to the north-east end of Vauxhall Bridge.

The area comprises stuccoed terraces of three storied, mid-nineteenth century houses with basements but without mansards and includes a few local shops and the 'Morpeth Arms', a public house on Millbank. It has a good environmental quality and is wholly worthy of forming an extension to the existing Millbank Conservation Area.

The properties in the neighbourhood which are built on land owned by the Crown Estate, have recently been renovated as part of a programme of redevelopment and renovation of this part of their holding.

3.2 The Proposed Extension to the Strand Conservation Area

There is an anomaly in the boundary of the Strand Conservation Area compared with the riparian conservation areas adjoining it within Westminster in that its boundary is along the river edge of the Victoria Embankment and not along the centre line of the River, which is also the City boundary. This frontage of Kings Reach is of particular importance because for almost half its length it is the setting for Somerset House and Kings College, and boats moored to landing stages are outside the Strand Conservation Area as it exists at present.

At the present time there are several of these: There are River Police boats moored to their station adjacent to Waterloo Bridge, 'The Wellington' close to Temple Pier and three others moored to a landing stage approximately opposite the end of Surrey Street. These three are the 'Wilfred' which provides wine bar and restaurant, the 'Naticia' which is a double-deck pleasure craft and 'The Katherine' where an estate agents board describes it as an 'All floating leisure opportunity'.

A conservation area designation would provide additional control so that the amenity of this stretch of the River frontage is preserved.

3.3 The Proposed Extension to Soho Conservation Area

Another anomaly in a conservation area boundary is the exclusion of a small area comprising most of the east side of Leicester Square and the adjoining frontage of Charing Cross Road, from the Soho Conservation Area.

All other parts of Leicester Square already enjoy conservation area protection.

The properties proposed for inclusion are The Odeon Cinema, which is one of the more dramatic 'picture palaces' of the 1930s and older buildings to the north. Similarly, the adjoining frontage to Charing Cross Road is the only portion of the Road south of 'The Hippodrome' which is not within a conservation area, though it includes some good quality late nineteenth century red-brick properties and several earlier buildings which, though modest, have a good scale.

The area is in a conspicuous part of the West End where protection and enhancement is particularly needed.

3.4 The Proposed Renaming of the Southern Portion of the Soho Conservation Area as the Leicester Square Conservation Area

It is considered that the individual character of Leicester Square and its environs should be expressed by renaming the southern portion of the Soho Conservation Area as the 'Leicester Square Conservation Area'. The area around the Square with its cinemas, hotels and office blocks has a different scale to the more domestically-scaled Soho and the existing lack of definition could cause confusion particularly at a public inquiry.

CITY OF WESTMINSTER

STATUS : FOR GENERAL RELEASE

COMMITTEE : PLANNING AND DEVELOPMENT

DATE : 20 MARCH 1990

REPORT OF
TRANSPORTATION : DIRECTOR OF PLANNING AND

SUBJECT : RESULTS OF CONSULTATIONS ON THE
PROPOSED EXTENSIONS TO THE STRAND
AND MILLBANK CONSERVATION AREAS AND
THE EXTENSION OF THE SOHO
CONSERVATION AREA, AND ITS RENAMING AS
THE LEICESTER SQUARE CONSERVATION
AREA

WARD : MILLBANK, ST. JAMES'S AND WEST END

BACKGROUND PAPERS : LIST ATTACHED

1. SUMMARY

Consultations on the proposed conservation area extension at Millbank, Strand and Soho, and the renaming of the latter as the Leicester Square Conservation Area are now complete, following Committee approval on 21 November 1989. This report presents the responses from consultees and seeks approval for the Conservation Area designations.

2. RECOMMENDATION

2.1 That the areas at:

- i. Millbank, SW1 as shown on Map No. CON/MIL/0001.
- ii. Strand, WC2 as shown on Map No. CON/STR/0001.
- iii. Soho, WC2 as shown on Map No. CON/SOH/0002.

be approved for designation as conservation areas and that the southern portion of the Soho Conservation Area, as shown on Map No. CON/LEI/0001 be renamed and designated as the Leicester Square Conservation Area, under the provision of Section 277 of the Town and Country Planning Act 1971.

- 2.2 That the Director of Planning and Transportation be authorised to give notice of designation in the London Gazette and at least one local newspaper circulating in the areas, to the Secretary of State for the Environment, English Heritage and (in the case of the Strand Conservation Area) the adjoining reparation Borough of Lambeth, and take any other steps as may be necessary to implement the designation.

3. BACKGROUND

Members will recall the reasoning and descriptions of the proposed conservation areas as described in the report to Committee on 21 November 1989. At that Committee meeting, authority was given for the consultations to commence on the three proposed conservation areas.

4. RESULTS OF CONSULTATIONS (CAPS)

4.1 A schedule of those persons who were consulted is attached. The consultation letter was sent on the 22 January 1990. Responses were requested within 28 days and the following responses were received.

- i. Millbank - six responses were received.
- ii. Strand - five responses were received.
- iii. Leicester Square - two responses were received.

4.2 The following responses were received in respect of the proposed Soho Conservation Area extension and renaming as the Leicester Square Conservation Area.

- i. The Civic Trust strongly supports the designation of the Leicester Square Conservation Area.
- ii. The Soho Society wrote stating no objections with the provision that they continue to be consulted on any planning applications within the extended and re-named conservation area. In addition, the Society requested that frontages to Oxford Street, Regent Street, an area between Newport Place and Charing Cross Road, and the area around Sherwood Street be considered for inclusion in the Soho Conservation Area.

5. COMMENTS ON THE OBSERVATIONS

5.1 The Soho Society shall continue to be consulted on planning applications in the proposed Leicester Square Conservation Area. As regards other matters contained in their communication the possible inclusion of buildings with frontages to Oxford Street is currently being investigated. The areas around Newport Street are not considered of sufficient merit for inclusion in the Soho Conservation Area. The whole of Regent Street is included in the Regent Street Conservation Area, as is the whole of Sherwood Street.

Local Government (Access to Information) Act 1985

Background Papers

1. Report of Planning and Development Committee, 21 November 1989.
2. Correspondence from Consultees on the proposed conservation area extension at:
 - i. Strand, WC2
 - ii. Millbank, SW1 and

- iii. correspondence from consultees on the proposed extension of the Soho Conservation Area and its renaming as the Leicester Square Conservation Area.

CITY OF WESTMINSTER

STATUS : FOR GENERAL RELEASE

COMMITTEE : PLANNING AND DEVELOPMENT

DATE : 3 JULY 1990

REPORT OF : DIRECTOR OF PLANNING AND
TRANSPORTATION

SUBJECT : PROPOSED CONSERVATION AREA
EXTENSIONS

WARD : BAKER STREET, BAYSWATER, BELGRAVE,
BRYANSTON, CAVENDISH, CHURCHILL,
CHURCH STREET, LANCASTER GATE,
MILLBANK, REGENTS PARK, ST. GEORGE'S,
ST. JAMES'S, VICTORIA, WEST END

BACKGROUND PAPERS : LIST ATTACHED

1. SUMMARY

- 1.1 As part of the City Council's District Plan policy (Chapter 10, para 10.44(ii): 'To review its conservation areas and boundaries periodically, and whilst doing so to take account of any representations of interested parties' additional conservation areas and conservation area extensions are proposed. The review has been undertaken at the request of the Committee and of individual members who have at various times requested the extension of conservation area boundaries.
- 1.2 This report seeks the Committee's approval in principle to the designation of new conservation areas and conservation area extensions and authority to proceed with the consultation necessary prior to final designation.

2. RECOMMENDATIONS

That the areas named in the following list, described in this report and shown in the attached maps be approved in principle, subject to consultations for designation as conservation areas or extension to existing conservation areas and that the results of the consultations be reported back to Committee:

Proposed Conservation Area Designations/Extensions	Map No.
1. Lisson Grove, NW1	I
2. Cleveland Street, W1	II
3. Haymarket, SW1 and WC2	XXIV
4. Fisherton Street Estate, NW1	IV
5. Churchill Gardens, SW1	V
6. Lillington Gardens, SW1	VI
7. Hallfield Estate, W2	VII
8. Dorset Square C.A. Extension NW1	VIII

9.	Bayswater C.A. Extension (Orme Court) W2	IX a
10.	Bayswater C.A. Extension (Porchester Road) W2	IX b
11.	Belgravia C.A. Extension W1	X
12.	Stratford Place C.A. Extension W1	XI
13.	Molyneux Street C.A. Extension W1	XII
14.	Medway Street C.A. Extension W1	XIII
15.	Soho C.A. Extension W1	XIV
15a.	Soho C.A. Extension (Denman Street) W1	XIV a
16.	East Marylebone C.A. Extensions	XIV
17.	Portman Square C.A. Extension (Baker Street) W1	XV a
18.	Portman Estate C.A. Extension (Aybrook Street) W1	XV b
18a.	Portman Estate C.A. Extension (Marble Arch) W1	XV c
19.	Leicester Square C.A. Extension WC2	XXIV
20.	Pimlico C.A. Extension SW1	XVII
21.	Millbank C.A. Extension SW1	XVIII
22.	Mayfair C.A. Extension (Park Street) W1	XIX a
23.	Mayfair C.A. Extension (Avenfield/Brook House) W1	XIX b
24.	Mayfair C.A. Extension (Old Park Lane) W1	XIX c
25.	Mayfair C.A. Extension (Oxford Street/Park Lane) W1	XXI a
26.	Mayfair C.A. Extension (Lumley Street) W1	XXI c
27.	Mayfair C.A. Extension (Dering Street) W1	XXII a
28.	East Marylebone C.A. Extension W1	XX
29.	Harley Street C.A. Extension (Old Cavendish Street) W1	XXII a
30.	Harley Street C.A. Extension (Oldbury Place) W1	XXII b
31.	Regent Street C.A. Extension W1	XXIII
32.	Trafalgar Square C.A. Extension WC2	XXIV

3. BACKGROUND

- 3.1 This report stems from the Planning and Development Committee of 21 November 1989 when 'it was felt that a general review of conservation areas in the City should be undertaken'.
- 3.2 Since 1967, and in response to the Civic Amenities Act of that year the City Council has designated and extended conservation areas to cover the greater part of the City.
- 3.3 The first designations covered only the very best areas but more areas were added as the City Council reflected public appreciation of conservation in the urban scene and the general protection that designation provides.
- 3.4 The Committee will be aware that over the last few months several reports have been presented proposing that additional areas should be protected by conservation area legislation. This report is intended to be comprehensive to coincide with the preparation of the City Council's Unitary Development Plan and is based on a City-wide survey which highlighted remaining areas of quality or important location which qualifies them for consideration. The designation of canalside areas, however, will be subject to separate consideration and a report on this will be presented to member at the next Committee.
- 3.5 For the most part, the report proposes numerous small areas to be given conservation area status, either by the creation of new areas or extensions to existing ones. The reasons for the proposals are not always the same and for clarity they have grouped into areas of similar characteristics.

They are:

A. New Conservation Areas to Protect Areas of the Traditional Fabric

at:

1. Lisson Grove NW1 (Map No. I)
2. Cleveland Street W1 (Map No. II)
3. Haymarket SW1 and WC2 (Map XXIV)

B. New Conservation Areas to Protect Good Quality Housing Estates

at:

4. Fisherton Street Estate NW1 (Map IV)
5. Churchill Gardens SW1 (Map V)
6. Lillington Gardens SW1 (Map VI)
7. Hallfield Estate W2 (Map VII)

C. Extensions to Existing Conservation Areas to include Good Quality Fringe Areas

at:

8. Dorset Square Conservation Area Extension NW1 (Map VII)
- 9&10. Bayswater Conservation Area Extension W2 (Orme Court, Map IX a and Porchester Road (Map IX b))
11. Belgravia Conservation Area Extension SW1 (Map X)
12. Stratford Place Conservation Area Extension W1 (Map XI)
13. Molyneux Street Conservation Area Extension W1 (Map XII)
14. Medway Street Conservation Area Extension SW1 (Map XIII)

D. Extension to Conservation Areas to cover Prominent Sites

at:

- 15&15a. Soho C.A. Extensions W1 (Maps XIV and XIV a)
16. East Marylebone C.A. Extensions (Map XIV)
17. Portman Square C.A. Extension (Baker Street) W1 (Map XV a)
18. Portman Estate C.A. Extension (Aybrook Street) (Map XV b)
- 18a. Portman Estate C.A. Extension (Marble Arch) (Map XV c)
19. Leicester Square C.A. Extension WC2 (Map XXIV)
20. Pimlico C.A. Extension SW1 (Map XVII)
21. Millbank C.A. Extension SW1 (Map XVIII)
22. Mayfair C.A. Extension (Park Street) W1 (Map XIX a)
23. Mayfair C.A. Extension (Avenfield/Brook House) (Map XIX b)
24. Mayfair C.A. Extension (Old Park Lane) (Map XIX c)
25. Mayfair C.A. Extension (Oxford Street/Park Lane) (Map XXI a)
26. Mayfair C.A. Extension (Lumley Street) (Map XXI c)
27. Mayfair C.A. Extension (Dering Street) (Map XXII a)
28. East Marylebone C.A. Extension W1 (Map XX)
29. Harley Street C.A. Extension (Old Cavendish Street) W1 (Map XXII a)
30. Harley Street C.A. Extension (Oldbury Place) W1 (Map XXII b)
31. Regent Street C.A. Extension W1 (Map XXIII)
32. Trafalgar Square C.A. Extension (Map XXIV)

3.7 Brief description and reasons for designation of the above areas are as follows:

A. New Conservation Areas

1. Lisson Grove, NW1 (Map I)

The proposal is centred on Bell Street and Lisson Grove and comprises mostly nineteenth century terraces with some twentieth century infill. It includes a variety of properties between Rossmore Road and Broadley Terrace, No. 13-49 (odd) Harewood Avenue and architecturally good but unlisted terrace of early 9th century houses in St. Edwards Convent and Primary School. The Convent is a listed building.

The area around Bell Street and Cosway Street is the setting for Christ Church which was designed by Philip Hardwick and built between 1824-25.

Ranston Street, which was redeveloped with model dwellings between 1891-96 by Octavia Hill replaced notorious slums. Parts of the area have been redeveloped in recent years but the scale of the redevelopment has not been destructive to the essentially domestic scale of the area.

2. Cleveland Street W1 (Map II)

Cleveland Street follows the boundary between Westminster and the London Borough of Camden. It was mostly developed in the last years of the eighteenth century. Although most of the buildings on the Westminster side of the street have since been redeveloped, one short stretch of the street which gives an idea of the original appearance between Carburton Street and Greenwell Street is worthy of conservation area protection.

The block includes a terrace of original houses, Nos. 139-149 (off incl.) and 'The George and Dragon' public house which dates from 1850, all of which are 'listed' Grade II.

The developments opposite in the London Borough of Camden side of the street are of a similar scale and character.

3. Haymarket, SW1 and WC2 (Map XXIV)

An area centred on Haymarket has been identified as being of sufficient merit to warrant designation as a new conservation area. This area takes in Panton Street and the major part of Haymarket itself, which includes important landmarks, such as the Odeon Cinema and the Carlton Terrace. The proposed area has for reasons of consistency, include two groups of buildings which were already in designated conservation areas, i.e. the corner of Coventry Street/Haymarket (presently, part of the Regent Street Conservation Area) and the corner of Haymarket/Panton Street/Charles II Street (presently part of St. James's Conservation Area). These are

proposed to be renamed as parts of the Haymarket Conservation Area.

The area contains several listed buildings, notably 34 Haymarket (Grade II*) which is a fine 18th century building with an intact interior and an exceptional shopfront. The designation of this area as a conservation area will preserve the ambience and enhance the setting of this historic street and will enable the City Council to exercise careful control over any future redevelopment proposals.

B. New Conservation Areas to Protect Good Quality Housing Estates

To the present time conservation area policy within the City of Westminster has by and large been aimed at preserving and enhancing historic parts, and few areas built since 1920 have been included.

However, the Secretary of State has in recent years included in the List of Buildings of Architectural or Historic Interest not only those constructed in the 1920's and 1930's, but also a few built after 1945, such as the Royal Festival Hall (listed Grade I).

In the spirit it is appropriate that the City of Westminster should consider its own post-1920's developments for inclusion conservation areas (more especially because two of them were won in competitions inaugurated by the City Council).

The areas are at:

4. Fisherton Street Estate W8 (Map IV)

Fisherton Street Estate was built for the former Borough of St. Marylebone in 1924. It comprises seven four storey blocks of flats set formally around two adjoining squares and is a particularly good example of the period, built in natural materials and subtly detailed.

It was designed by H V Ashley and F Winterton Newman.

5. Churchill Estate, Grosvenor Road/Lupus Street SW1 (Map V)

The Estate which covers thirty acres, was built between 1946-1962 as a result of a competition that was promoted by the City of Westminster and won by the then newly formed practice of Powell and Moya. It provides 1,600 homes and includes many of the social amenities such as local shops and primary health care facilities which were subsequently omitted from many other similar schemes throughout the country. Despite a density of 200 persons per acre, the maximum permitted in London at that time, there is a pleasant feeling of openness between the blocks of crisp, light design, which is achieved by their skilful arrangement.

The first blocks of the scheme were awarded the RIBA's London Architectural Bronze Medal in 1950 and in the same year Powell and Moya won the Festival of Britain Feature Competition with 'the Skylon'.

The Estate also won a Civic Trust Award. The Practice was awarded the RIBA gold medal in 1974.

The area also includes No. 105-109 Grosvenor Road, an early nineteenth century terrace of houses which are Grade II listed buildings and two Victoria Public Houses.

It also includes the River frontage up to the border with L B Kensington and Chelsea.

6. Lillington Gardens Estate, Vauxhall Bridge Road W1 (Map VI)

The scheme which was built in three phases between 1964 and 1972 has won four major architectural awards and has become generally acknowledged as one of the most highly successful high density developments in central London. The design which was the work of John Darbourne (who later formed the practice of Darbourne and Darke) won the open national competition sponsored by the Westminster City Council in 1961.

Darbroune and Darke's work is a re-statement of the virtues of humanely-scaled housing, strongly influenced by vernacular form and utilising traditional craft techniques and sympathetically planned landscaping.

7. Hallfield Estate, Bishops Bridge Road W2 (Map VII)

The Estate was built between 1951-59 by the firm Drake and Lasdun on land that was partially cleared by war damage and comprises fifteen individual blocks and a primary school.

It was designed a deliberate contrast to the architectural fabric of nineteenth century Bayswater.

Its quality lies in the architectural treatment of the elevation which is unusual and interesting for the period, in its use of contrasting textures and a typical design of (for example) the curved sloping balcony balustrades.

C. Extension to Existing Conservation Areas to Include Good Quality Fringe Areas

Below are proposed extensions to existing conservation areas. In most cases the areas are comparatively small and possesses a similar character and architectural quality to the conservation areas which they extend.

8. Dorset Square Conservation Area Extension NW1 (Map VIII)

It is proposed to extend the Dorset Square Conservation Area in an easterly direction to include Glentworth Street north of Melcombe Street, which is a street of good quality brick-built mansion flats of above 1900, and the 'listed' church of St. Cyprian's Clarence Gate; the corresponding frontages on the west side of Baker Street and Park Road, including Abbey House, an early nineteenth century terrace of

houses and shops, Rudolf Steiner House and Hall and Francis Holland School in Park Road, north of Ivor Place which is 'listed'.

The Area includes Chiltern Court, above Baker Street Station and Nos. 218-226 a good Edwardian Baroque building on the east side of Baker Street.

9&10. Three Extensions to the Bayswater Conservation Area W2: Orme Court (Map IX a) and Porchester Road (2 separate areas, shown in Map IX b)

Three of these proposed areas have frontages to Porchester Road and comprise:

- a. Nos. 44-64 (evens) Porchester Road which are mid-nineteenth century shops, typical of the area.
- b. The former British Railways Historical and Records Office, a late nineteenth century building adjacent to the railway and Royal Oak Station.
- c. Porchester Baths, Porchester Hall and Library, good quality buildings of around 1920 and No. 1 Westbourne Gardens.

Nos. 88-94 (evens incl.) Bishops Bridge Road and Nos. 3-23 (odds incl.) Porchester Road which are good quality late nineteenth century buildings on the west corner of the two streets. The other is:

- d. Nos. 1-11 inclusive Orme Court, two excellent brick terraces of the late nineteenth century 'arts and crafts' houses, one terrace of which faces onto Bayswater Road.

11. Extension to the Belgravia Conservation Area SW1 (Map X)

It is proposed to extend the Belgravia Conservation Area to the east to include nineteenth century properties on the east side of Ebury Street, most of which are listed, frontages on both sides of Elizabeth Street, including the Victoria Coach Station of the 1930's; both sides of Eccleston Street including the 'listed' Chantry House and corresponding properties on the west side of Buckingham Palace Road, including Nos. 126-158 (evens incl.) which forms a high quality 'listed' brick terrace of about 1900.

12. Extension to Stratford Place Conservation Area W1 (Map XI)

The domestically-scaled east side of St. James's Street which is associated with the St. Christopher Place/Gees Court shopping area is already within the Stratford Place Conservation Area. The west side of the street is not of the same quality except at its junction with Picton Place and Picton Place itself. It is therefore proposed that this area should form a westerly extension of the Stratford Place Conservation Area. The area is proposed to include also the 'Selfridges' Building facing Oxford Street.

13. Extension to Molyneux Street Conservation Area W1 (Map XII)

It is proposed to extend the Molyneux Street Conservation Area in north-westerly direction in to include properties of a similar character and scale and including 'Our Lady of the Rosary' Roman Catholic Church.

14. Extension of Medway Street Conservation Area SW1 (Map XIII)

The Committee may recall that in a report submitted to their meeting on 19 September 1989 on 'Proposed Conservation Area Extensions' the recommendations was accepted that consultations be undertaken with the aim of designating a conservation area of the street block bounded by Medway Street/Arneway Street/Horseferry Road. The same report mentioned that consideration had also been given to including additionally the street block bounded by Medway Street/Monck Street/Horseferry Road and Arneway Street and that on balance it was considered it fell short of conservation area quality. The report reasoned: 'This block does not have the same cohesive scale of the adjacent block but the properties fronting onto Horseferry Road and domestic in scale and varied in design, though only about half are of 19th century origin. Behind this frontage, and fronting onto Medway Street, are comparatively modern developments of a larger scale and of bland design'.

The Thorney Island Society on consultation welcomed the initial recommendation but subsequently asked that the additional block be reconsidered to give protection to the Horseferry Road frontage only.

In the light of the closely balanced recommendation to the 19 September Committee and the considerable local feeling expressed through the Thorney Island Society the matter has been re-considered and it is now proposed that the properties in this block fronting onto Horseferry Road should be included in extension to the Medway Street Conservation Area.

D. Extensions to Existing Conservation Areas to Cover Prominent Sites

These are areas of general mixed architectural quality in particular conspicuous locations where conservation area status will help to ensure that buildings of high standard of design will replace the existing on possible redevelopment.

15&15a. Soho Conservation Area Extension W1 (Maps XIV and XIVa)

To include a small area entered on Denman Street and with a frontage to Piccadilly Circus. (Map XIV a)

To include also the corner of Oxford Street/Poland Street (Map XIV) and a small area north-west of Soho Square (Map XIV).

All these three small extensions are proposed mainly for geographical consistency.

16. Extension to East Marylebone Conservation Area (Map XIV)

A small addition to the East Marylebone Conservation Area is proposed at 116 to 122 Oxford Street W1. This street block consists of one mid 20th century building of very interesting architectural design. The building was formerly the Bourne and Hollingsworth Store, which was one of the pioneers of 'department store' shopping.

17,18 and 18a. Portman Estate Conservation Area Extensions W1 (Maps XV a and XV b and XV c)

Three extensions are proposed:

- a. Extension centred on Baker Street: Although the garden of Portman Square and the buildings on the west side are already within the Portman Estate Conservation Area the eighteenth century houses on the south, east and most of the north sides of the Square have been redeveloped with twentieth century bland blocks of flats and offices. If redeveloped these should be of a more sympathetic design. To help to ensure that it is proposed that the three frontages mentioned above, together with Seymour Mews, are included in Portman Estate Conservation Area extension. (Map XV a)
 - b. An area centred on the vacant plot, surrounded by Aybrook Street and Moxon Street, Cramer Street, St. Vincent Street currently used as a car park, is encircled by an area enjoying conservation area protection. To help ensure appropriate redevelopments within it, so that they are sympathetic to the acknowledged quality of the surrounding area, it is appropriate to include it as an extension to the Portman Estate Conservation Area. (Map XV b)
 - c. To give Conservation Area status to the most prominent sites bounded by Edgware Road, Oxford Street/Marble Arch, Portman Street and Bryanston Street. (Map XV c)
19. Leicester Square Conservation Area Extension WC2 (Map XXIV)

Members will be aware of the designation of the Leicester Square Conservation Area following consultation on the 20 March 1990. The current proposal before Committee is to include a small area incorporating the Leicester Square Theatre. This would afford further protection to a conspicuously located and culturally important building.

20. Pimlico SW1 (Map XVIII)

Extended to include the River frontage Claverton Street frontages and the whole of Dolphin Square. The west side of Aylesford Street and St. George's Square Mews. These streets are mostly contemporary with the rest of the Pimlico Conservation Area.

21. Millbank

To include the River frontage, to ensure the setting of the existing conservation area may be protected against any inappropriate development to the river banks which may adversely affect the character of Millbank. Along with the proposed designation of Pimlico, SW1 (item 17 in this report), the whole of the City's River Thames frontage will be located within conservation areas.

22.to 24. Mayfair Estate Conservation Area Extension W1 (Park Lane, Map XIX a, Avenfield/Brook House (Map XIX b) and Old Park Lane (Map XIX c)

To include frontages to Hyde Park in Park Lane.

Park Lane forms one of the boundaries of Hyde Park along which insensitive redevelopment can spoil views from the Park.

Most of the pre-1914 development and the Dorchester Hotel are already incorporated in the Mayfair Conservation Area but extensive pockets of post-1914 development, which for the most part of undistinguished architectural quality, were excluded. Conservation area designation will assist the Council promoting high standards of design so that new buildings positively preserve or enhance the Mayfair Conservation Area as well as views from Hyde Park.

These extensions to the Mayfair Conservation Area are also proposed to include Avenfield House and Brook House (Map XIX b), two office blocks between Green Street and Upper Brook Street and the area adjacent to the S.E. corner of Hyde Park, dominated by the London Hilton Hotel and other characteristic and well detailed modern buildings on either side of Old Park Lane. (Map XIX c)

25. Mayfair Conservation Area Extension (Oxford Street/Park Lane Map XXI a) which comprises a most prominent area bounded by Oxford Street, Park Street, North Row and Park Lane; also,

26. The sites on either side of Lumley Street facing Oxford Street (Map XXI c), and

27. The frontages on Oxford Street (301 to 351 odd) and including parts of Dering Street and Tenterden Street, as shown on Map XXII a.

28. East Marylebone Conservation Area Extension W1 (Map XX)

To include Middlesex Hospital

Middlesex Hospital and The Samuel Augustine Courtauld Institute of Bio Chemistry to the north, comprise a substantial site on the Westminster/London Boundary of Camden boundary. It is particularly conspicuous from the south as it ends the vista looking north up Wardour Street, across Oxford Street and along Berners Street. It is almost entirely surrounded by conservation areas and it is proposed to include it as an extension of The East Marylebone Conservation Area to help ensure that where appropriate replacement buildings of good design are achieved on redevelopment.

29, 30. Harley Street Conservation Area Extension W1 (Maps XXII a and b)

Harley Street's historic character is derived from its traditional use almost exclusively as a medical precinct. The fine 19th century building which include several on the Statutory List of Buildings of Architectural or Historic Interest, form a coherent entity. In recent years, as with many other areas of the City, Harley Street Conservation Area has faced increasing development pressures which have threatened to undermine the preservation of the area. The designation of the two areas adjacent to the conservation area at Old Cavendish Street (Map XXII a) and Oldbury Place/Marylebone High Street (Map XXII b) will further enhance the conservation area and strengthen the position of the City Council in any redevelopment proposals. These extensions would also ensure that the use of these buildings would be appropriately controlled, to ensure the character of the conservation area is maintained.

31. Regent Street Conservation Area Extension W1 (Map XXIII)

A small area of Oxford Street, including Nos. 217-229 (odds, inclusive) has been noted as being worthy of conservation area status. The area contains smaller-scale Victorian commercial development which offers an interesting contrast to the large-scale formality of the frontages to Regent Street and Oxford Street. As such, these buildings are worthy of the additional protection conservation area designation would provide.

32. Extension to the Trafalgar Square Conservation Area WC2 (Map XXIV)

A small proportion is proposed to the Trafalgar Square Conservation Area, incorporating 30 Orange Street, WC2. This property is located adjacent to the Leicester Square Conservation Area and the proposed Haymarket Conservation Area. The exclusion of the property would prove conspicuous due to its location among three proposed or established conservation areas, and any future redevelopment would need to take account of the historic and architecturally important setting. It is therefore prudent to include it in the Trafalgar Square Conservation Area.

4. OTHER AREAS

- 4.1 An area centred on Regency Street and Chapter Street was considered for conservation area status as a result of a petition received from 79 residents on 28 February 1990. It was suggested that the area (shown as Map XXV) be included in the Vincent Square Conservation Area.
- 4.2 On balance, it is felt that the area is insufficient merit to warrant designation as a conservation area. The urban form of the area and architectural quality and fabric of the properties is generally of unexceptional quality and would detract from the Vincent Square Conservation Area's architectural integrity.

5. FINANCIAL IMPLICATIONS

- 5.1 Apart from the initial costs of advertising the designations, the additional yearly expenditure for advertising planning applications 'on site' and in local newspapers should not exceed £1,000.

Local Government (Access to Information) Act 1985

Background Papers

1. Report to Planning and Development Committee 21 November 1989.

CITY OF WESTMINSTER

STATUS : FOR GENERAL RELEASE

COMMITTEE : PLANNING AND DEVELOPMENT

DATE : 20 NOVEMBER 1990

REPORT OF
TRANSPORTATION : DIRECTOR OF PLANNING AND

SUBJECT : RESULTS OF CONSULTATIONS AND OTHER
MATTERS CONCERNING PROPOSED
CONSERVATION AREA EXTENSIONS

WARD : BAKER STREET, BAYSWATER, BELGRAVE,
BRYANSTON, CAVENDISH, CHURCHILL,
CHURCH STREET, LANCASTER GATE,
MILLBANK, REGENTS PARK, ST. GEORGE'S,
ST. JAMES'S, VICTORIA, WEST END,
WESTBOURNE, QUEENS PARK

BACKGROUND PAPERS : LIST ATTACHED

1. SUMMARY

The Planning and Development Committee of 3 July 1990 gave approval in principle to the designation of new conservation areas, concerning area extensions and authority to proceed with consultations leading to their proposed designation. They also asked for a number of associated matters to be investigated or undertaken, and in particular requested that a booklet be produced and made available to the public which explains the nature and extent of control exercised by the City Council within conservation areas.

This report presents the responses from consultees and seeks approval for the conservation area designations. Appendix 1 contains the text of a proposed conservation area booklet.

2. RECOMMENDATIONS

- 2.1 That Committee resolve to designate the new conservation areas and conservation area extensions listed in Appendix 2 of this report and authorise the Director of Planning and Transportation to give notice of the designations in the London Gazette and at least one local newspaper circulating in the areas, to the Secretary of State for the Environment, English Heritage and the adjoining Boroughs and to take such other steps as may be necessary to implement the designations.
- 2.2 That the text of the proposed conservation area booklet be noted.

3. BACKGROUND

- 3.1 Members will recall the reasoning and description of the proposed conservation areas and conservation area extensions in the report to Committee on 3 July 1990.
- 3.2 A schedule of consultees is attached as Appendix 3 at the back of this report, together with a summary of the contents.
- 3.3 Overall the proposed new conservation areas and conservation area extensions were welcomed by 15 out of 19 respondents. These 15 included local amenity societies as well as national and regional public bodies.
- 3.4 A minority of the respondents, however, who had developed interests in specific properties in the proposed extensions to the Pimlico, Belgravia and Mayfair Conservation Areas, had reservations as to the merit of some of the buildings and streets to be included. These representations have been considered carefully, but no modifications are proposed as the buildings and areas queried either contribute significantly to the special historic and architectural integrity of existing conservation areas or are located in areas of significant townscape merit where insensitive redevelopment would positively harm the character and appearance of these areas. Appendix 4 contains the observations of the Director of Planning and Transportation on the responses received.
- 3.5 The following changes are proposed as a result of queries raised by Members at the meeting on 3 July (see map XVII).
 - a. The east side of Claverton Street and west side of Aylesford Street is now to be within the Pimlico Conservation Area, not the proposed Dolphin Square Conservation Area.
 - b. The street block bounded by Lupus Street, Claverton Street, Ranelagh Road and Johnsons Place is now to be within the Pimlico Conservation Area, not the proposed Churchill Gardens Conservation Area.
 - c. The River Frontage opposite Dolphin Square is to be within that conservation area, and land to the east of Dolphin Square within the Pimlico Conservation Area.
 - d. The Regency Street/Chapter Street area has been reconsidered for conservation area status, and its designation is recommended.

The area is of mixed development with some pleasant brick buildings, built mostly in the first third of the century. Planning permission has recently been granted for the redevelopment of the street block bounded by Nos. 135-151 (odd) Regent Street, through to St. John's Church and No. 36 Causton Street. The area therefore proposed (Map XXV a) comprises the east side of Regency Street between the redevelopment site and Holcroft Court, together with the T.A. Centre and the residential and shop developments between the west side of Regency Street and the east side of Chapter Street.
- 3.6 Map XXIV shows two areas of the St. James's Conservation Area which it is proposed should be included in the proposed Haymarket Conservation Area. The two areas are:

- a. Haymarket/Panton Street/Orange Street.
- b. Haymarket/Charles II Street/St. Albans Street.

Also, a part of the Regent Street Conservation Area is to be included in the proposed Haymarket Conservation Area.

3.7 No further changes to the boundaries or naming of the conservation areas are proposed. In particular:

- i. The inclusion of Council housing developments at Fisherton Street Estate NW8; Churchill Gardens Estate, SW1; Lillington Gardens Estate, SW1; and Hallfield Estate, W2 are still recommended.
- ii. The architectural quality and cohesion of the area is not sufficiently good to be recommended for inclusion in a conservation area.

However, a draft planning brief for part of the area was agreed by Committee in June 1989 and ratified, following public consultation, by the Applications Sub-Committee early in 1990. The purpose of the brief was to give detailed guidance to prospective developers, following sale of the site by the City Council, to ensure that development proposals are of a high quality and preserve and enhance the character of the area. The brief, which has now been published, states that:

"Whilst it is not considered that (conservation area status) could be justified, it highlights the importance of a sensitive and high quality design in any new development... New buildings should respect existing building lines and should be clad in traditional materials... to ensure that it is in accord with its surroundings and sympathetic to both the conservation area and the listed church."

Members considered that the publication of the brief in these terms provided adequate safeguards, and that conservation area designation was unnecessary.

In the light of previous Committee decisions, designation is not recommended by this report. Should Committee wish to reconsider its earlier decision not to recommend designation, further consultations could be undertaken later this year and a report considered at its January meeting.

3.9 A further report to Committee will be necessary to cover the possible designation of conservation areas adjoining the Grand Union Canal. Authority to undertake public consultation on these designations was given by Committee at its meeting in September.

4. FINANCIAL IMPLICATIONS

The cost of giving the necessary notices and taking such other steps as may be necessary to implement the designation is of the order of £3,000.

Local Government (Access to Information) Act 1985

Background Papers

1. Report to Planning and Development Committee, July 1990.
2. Copies of all representations as a result of public consultation, together with the responses of the City Council.

Appendix 2

AREAS TO BE DESIGNATED AS CONSERVATION AREAS

A. Proposed New Areas to protect the traditional fabric

		Map No. (displayed in the Committee Room)
1.	Lisson Grove, NW1	I
2.	Cleveland Street, W1	II
3.	Haymarket, SW1 and WC2	XXIV
3A.	Dolphin Square	XVII
3B.	Regency Street/Chapter Street	XXVA

B. Proposed New Areas to protect Good Quality Housing Estates

		Map No. (displayed in the Committee Room)
4.	Fisherton Street Estate, NW1	IV
5.	Churchill Gardens	V
6.	Lillington Gardens, SW1	VI
7.	Hallfield Estate, W2	VII

C. Proposed Areas Adjacent to Existing Conservation Area to Include Good Quality Fringe Developments

		Map No. (displayed in the Committee Room)
8.	Dorset Square Conservation Area, NW1	VII
	Bayswater Conservation Area, W2	
9.	i. Orme Court	IXa
10.	ii. Porchester Road	IXb
11.	Belgravia Conservation Area	X
12.	Stratford Place Conservation Area, W1	XI
13.	Molyneux Street Conservation Area, W1	
14.	Medway Street Conservation Area, SW1	XIII

D. Proposed Extensions to Existing Conservation Areas to cover prominent sites

		Map No. (displayed in the Committee Room)
	Soho Conservation Area	
15.	i. Oxford Street/Poland Street 67-77 Oxford Strand 215-229 Oxford Street	XIV and XXIII
15A.	ii. Denman Street	XIVa

East Marylebone Conservation Area, W1

- | | | | |
|-----|-----|------------------------------|-----|
| 16. | i. | Oxford Street/Berners Street | XIV |
| 28. | ii. | Middlesex Hospital | XX |

Portman Estate Conservation Area, W1

- | | | | |
|------|------|---------------------------------|-------|
| 17. | i. | Portman Square | XVa |
| 18. | ii. | Aybrook Street | XVb |
| 18a. | iii. | Oxford Street, Marble Arch | XVc |
| 20. | | Pimlico Conservation Area, SW1 | XVII |
| 21. | | Millbank Conservation Area, SW1 | XXIII |

Mayfair Conservation Area, W1

- | | | | |
|-----|------|--|-------|
| 22. | i. | Park Lane/Park Street | XIX |
| 23. | ii. | Avenfield and Brook House, Park Lane | XIXb |
| 24. | iii. | Old Park Lane/Hertford Street | XIX |
| 25. | iv. | Oxford Street/Park Lane/Park Street | XXIa |
| 26. | v. | Oxford Street/Lumley Street | XXIc |
| 27. | vi. | Oxford Street/Dering Street/Woodstock Street | XXIIa |

Harley Street Conservation Area, W1

- | | | | |
|-----|-----|---|-------|
| 29. | i. | Oxford Street/Old Cavendish Street | XXIIa |
| 30. | ii. | Oldbury Place | XIIb |
| 19. | | Leicester Square Conservation Area, WC2 | XXIV |
| 31. | | Regent Street Conservation Area, SW1 | XXIV |
| 32. | | Trafalgar Square Conservation Area, WC2 | XXIV |

In addition to draft consultations by letter a notice was printed in all local newspapers on 26 July 1990 inviting comments and giving addresses of local public libraries where maps showing boundaries of the proposed conservation areas or extensions could be inspected.

The Period of Consultation, as with previous conservation area designations, lasted 28 days, between 20 July 1990 and 17 August 1990. However, comments were accepted after this period.

D. Extension to Existing Conservation Areas to Cover Prominent Sites at:

Map No.
(displayed in the Committee Room)

Soho Conservation Area, W1 at

- | | | | |
|------|-----|---------------|---------------|
| 15. | i. | Oxford Street | XIV and XXIII |
| 15a. | ii. | Denman Street | XIV |

The Soho Society welcomes the proposed extension of the Soho Conservation Area. Additionally they requested that the street block bounded by Great Chapel Street, Dean Street, Fareham Street and Oxford Street be considered for conservation area designation.

AUDIT ADOPTION REPORT & STATEMENT OF DECISION

Item No.

Decision-maker	Date	Title of Report
CABINET MEMBER FOR CUSTOMER SERVICES		Millbank Conservation Area – Adoption of Conservation Area Audit as Supplementary Planning Guidance
CLASSIFICATION FOR GENERAL RELEASE		Report of Director of Planning and City Development
Wards Involved	Vincent Square	
Policy Context	The Civic Review Initiative has a target to adopt 5 Conservation Area Audits as supplementary planning guidance by the end of 2004/05 in order to implement the programme to prepare audits for the City's 53 conservation areas. The review of conservation area boundaries forms part of this process.	
Financial Implications	There are no financial implications arising from this report at this stage.	

Summary

1.1 National guidance places responsibility on the City Council to produce detailed appraisals of each of its 53 conservation areas and to consider the designation of further areas. Following a public consultation exercise including a public meeting this report seeks the adoption of the Millbank Conservation Area Audit as Supplementary Planning Guidance.

RECOMMENDATIONS

2.1 That the Cabinet Member for Customer Services resolves to adopt the Millbank Conservation Area Audit (attached in Appendix 5) as Supplementary Planning Guidance.

3 Background Information

3.1 On 22 October 1998, Sub-Committee agreed a priority list of conservation areas to be audited as part of the City Council's comprehensive

review of its then 51 Conservation Areas (there are now 53). This review is a statutory duty and an updated timetable is being progressed.

3.2 Given the complexity and scale of the City's conservation areas this process has been broken into three stages involving the production of mini-guides (General Information Leaflets), directories and audits. The audits represent the third and final stage of the preparation of appraisals of all of the Borough's 53 Conservation Areas.

4 Detail

4.1 The draft Millbank Conservation Area Audit was adopted for consultation on 19 May 2004. Since this time, a public consultation exercise has been undertaken, including a public meeting. A summary of all correspondence received and the Council's response can be found in Appendix 3. The amended Audit is included in Appendix 5.

Original written consultation

4.3 Letters of consultation were issued on 2 June 2004 and sent to local amenity groups, national bodies, ward Councillors and other local organisations. A list of consultees is attached in Appendix 1.

4.4 Written responses were received commenting on the content of the audit and these are listed in the background paper section and summarised in Appendix 3.

Public meeting

4.5 The letter of 2 June 2004 also invited local groups, national bodies, ward Councillors and other local organisations to attend a public meeting, which discussed both the Millbank and Smith Square Audits. This was held on 28 June 2004.

4.6 The meeting was chaired by Councillor Danny Chalkley, and attended by eighteen members of the public, representatives of local organisations and other interested parties. The audit was presented to the meeting and issues of concern, many highlighted in the written responses received were then discussed. The minutes of the meeting are attached at Appendix 4 and a summary of all comments is at Appendix 3.

Main Comments Received

4.7 In general the findings of the audit have received support and few amendments have been suggested. English Heritage have welcomed the findings of the audit. The main issue which arose though the consultation related to the Queen Alexandra Military Hospital Site and the Tate Masterplan and this is discussed below. All other comments received and issues raised are summarised together with the council response at Appendix 3.

The Queen Alexandra Military Hospital

4.8 The main issue of concern to have been raised as a result of consultation relates to the identification of the Queen Alexandra Military Hospital as an Unlisted Building of Merit. Unlisted buildings of merit are

significant buildings which contribute to the character of conservation areas. Where a building is identified as of merit, its demolition and unsympathetic alteration would be resisted, in line with UDP policy.

4.10 Queen Alexandra Military Hospital dates from 1905 and comprises a group of buildings to the northeast of the Tate. It forms an important element in an architecturally cohesive group of late Victorian and Edwardian public buildings on Millbank. In townscape and historical terms it is considered it makes a significant contribution to the character and appearance of the Conservation Area. English Heritage have written welcoming its inclusion in the audit as an Unlisted Building of Merit.

4.11 In response to the consultation on the draft audit, Drivers Jonas (for the Tate) have raised concerns that a blanket approach was taken to the identification of this site as 'of merit' which does not recognise that this is a group of buildings of variable quality.

4.12 In particular they refer to the masterplan for redevelopment of the hospital site 'Completing Tate Britain' produced in 2001/2002. This document includes proposals for some demolition on the hospital site and has been discussed with City Council Officers. A committee resolution was made with regards to the masterplan on 18/04/02, which stated that: "*the demolition of the outpatients department, temporary buildings, chapel and rear of Alexandra building and special cases ward is acceptable in principle subject to an appropriate high quality redevelopment scheme.*" The Tate was concerned that this resolution and discussions with regards to the masterplan document are not reflected in the Conservation Area Audit.

4.13 In response to this, it is accepted that the group of buildings are not all of equal merit and the map of unlisted buildings of merit has been amended to fully reflect the committee resolution. The amended map forms part of the revised audit attached at Appendix 5. Copies of the amended map were forwarded to the Tate who have given further response included with comments at appendix 3.

4.14 Following a meeting with the Tate, reference to the masterplan has also been added at paragraph 4.25 with the words: "With regards to the Queen Alexandra Military Hospital reference should also be made to the committee resolution dated 18 April 2002 which outlines the councils agreed approach to the future of the hospital complex and the masterplan for its redevelopment." The Tate have agreed this and stated that the additional paragraph is a helpful approach, which they welcome.

5 Financial Implications

5.1 There are no financial implications arising from this report at this stage. Expenditure costs will be met from existing revenue budgets.

6 Legal Implications

6.1 Under Section 69 (1)(a) of the Planning (Listed Buildings and Conservation Areas Act) 1990 every local authority “shall from time to time determine which parts of their area are areas of special architectural or historic interest the character and appearance of which it is desirable to preserve or enhance”. Planning Policy Guidance Note 15 ‘Planning and the Historic Environment’ interprets this responsibility by advising local authorities to periodically review existing conservation areas and their boundaries.

7 Consultation

7.1 A programme of public consultation was undertaken as detailed above involving English Heritage, national amenity societies, local resident groups and ward Councillors.

8 Human Rights Act 1998

8.1 The Human Rights Act came into force in England on 2 October 2000. It gives teeth to the European Convention on Human Rights (ECHR), which was ratified by the UK in 1951 and has been in force since 1953. The Act confers the direct protection of English law in relation to Convention rights. For the purposes of the role of a local planning authority the relevant provisions are: Article 2 - right to life, Article 6 – right to a fair hearing, Article 8 - right to respect for private and family life, Article 14 – prohibition of discrimination and Article 1 of the First Protocol - protection of property.

9 Conclusion

9.1 The Millbank Conservation Area Audit has now been through a process of public consultation. As a result of this process the findings have received general support. The only significant concern to have been raised related to the identification of unlisted buildings of merit within the audit and this has been addressed and the document amended as detailed above. Illustrations have been added and minor amendments to the text have also been made as detailed at Appendix 3. It is therefore recommended that the audit now be adopted as Supplementary Planning Guidance to ensure the continued preservation and enhancement of the Conservation Area.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS, PLEASE CONTACT JANE HAMILTON ON 020 7641 8019; EMAIL ADDRESS jhamilton@westminster.gov.uk ; FAX NUMBER 020 7641 2338

BACKGROUND PAPERS

- 1 Millbank Conservation Area mini-guide
- 2 Minutes of public meeting
- 3 Letters from The Westminster Society, June Stubbs (The Thorney Island Society), Drivers Jonas (for The Tate), English Heritage, CityWest Homes, Nicolas Underhill

APPENDIX 1: LIST OF CONSULTEES (for Millbank and Smith Square)

Millbank Estate Office
English Heritage
Georgian Group
Victorian Society
Twentieth Century Society
Royal College of Veterinary Surgeons
Drivers Jonas
Society of St John the Evangelist
Westminster Property Owners Association
Thorney Island Society
CityWest Homes
Senior Arboricultural Officer
Councillor Louise Hyams
Councillor Tim Mitchell
Councillor Alexander Nicoll
Councillor Duncan Sandys
Councillor Danny Chalkley
Councillor Powell Tuck

APPENDIX 2: ATTENDEES AT PUBLIC MEETING

Rachel Archer: St Johns Smith Square
June Stubbs: Thorney Island Society
Olive Whitcombe: Gainsborough House
Irene Carter: Turner House
Nina Chitnavis: Gainsborough House
Ian Stuart: Millbank Estate Management Office
Matt Haskins: Ponsonby Place
Nicholas Underhill: Smith Square
Peter Lawson: Thorney Island Society
Peter Bottomley: Smith Square
S Thorne
Vincent Khyssamouh: Gainsborough House
Piers Warner: The Tate
Leonie Hill: Drivers Jonas
Alex Beard: The Tate
Peter Wilson: The Tate

Councillor Danny Chalkley
Rosemarie MacQueen
Jane Hamilton
Helen Stratton

APPENDIX 3

Consultation responses		Council response
Consultee	Comments	
ENGLISH HERITAGE	<ul style="list-style-type: none"> • The audit clearly identifies the history and special interest of the two conservation areas and equally clearly set out planning/policies/guidance for proposals which may have an impact on this special interest. • Glad to see that the importance of the (former) Queen Alexandra Military Hospital is recognised. You might consider referring to the complimentary role it plays, along with the former Royal Army Medical Corps buildings in providing a seemly 'frame' or setting for the Tate Gallery. 	<p>Welcome support.</p> <p>Suggested reference added at Para. 4.14.</p>
THE THORNEY ISLAND SOCIETY (June Stubbs)	<ul style="list-style-type: none"> • Suggest extension of the Smith Square Conservation Area to include the West side of Tufton Street to link Smith Square conservation area with Millbank conservation area. 	<p>This is being considered as part of the Smith Square Audit.</p>
THE WESTMINSTER SOCIETY (Peter Handley)	<ul style="list-style-type: none"> • Reference to the Queen Alexandra Hospital as an unlisted building of merit is an over-generalisation. Only some buildings on the site worthy of retention. • St Johns Smith Square remains an ecclesiastical building and recommend that the audit be amended to reflect this 	<p>This point is accepted and text and maps have been to reflect this.</p>

Consultation responses		Council response
Consultee	Comments	
ARBORICULTURAL OFFICER	<p><i>Trees within Tate Britain</i> The mature trees within the curtilage of the Tate make a positive contribution to its setting. The large London planes in particular are fine specimens and their stature and appearance help to create a fitting environment for this important landmark building. The trees have retained their natural form, and have not been subject to the regular reduction that is needed in streets such as John Islip Street where space is severely limited. As such the trees at the Tate may be considered to be more pleasing in terms of their appearance than those trees which have to be reduced regularly, and their contribution to the character and appearance of the area is thereby enhanced.</p> <p><i>Clore Gallery</i> As above, the London plane trees next to the Clore Gallery also form an important part of the setting of the Tate. However, rather than using the word ‘screening’ with reference to the Clore extension, it would be preferable to amend the audit to refer to the value of the trees in contributing to its setting.</p> <p><i>Trees on Millbank</i> The London plane trees on Millbank help to create a strong sense of uniformity along this part of the Thames and are part of the characteristic riverside tree planting throughout the city. The trees are managed by Transport for London, although were previously the Council’s responsibility. Again the natural form of the trees is considered attractive.</p>	Word ‘screening’ has been omitted as suggested at para 4.58.

Consultation responses		Council response
Consultee	Comments	
THE TATE (Drivers Jonas)	<ul style="list-style-type: none"> Document does not reflect previous discussions with the council on the 'Completing Tate Britain' masterplan. Object to Figure 6 (unlisted buildings of merit) and conclusion that <u>all</u> the QAMH buildings are of 'merit'. Direct conflict with previous resolutions and written statements from officers of WCC, which accepted variable quality across the site. Figure identifying intimate routes/spaces needs review. Spaces within QAMH identified as intimate spaces. Masterplan proposes range of new and high quality public spaces on this site. Requested that the word private be added when referring to courtyard areas. Re the penitentiary the reference to 'surviving sections of wall' is misleading. Boundary was formed by a ditch? Need for trees to be properly maintained... those along Millbank interfere with the view of the Tate and those by the Tate obscure light from the Clore Gallery. Document should therefore refer to appropriate management of trees. 	<p>The document has been amended with regards to unlisted buildings of merit and the map of unlisted buildings of merit (figure 10) changed to show the area of merit within the QAMH reflecting the committee resolution on the masterplan.</p> <p>New paragraph added stating: <i>"With regards to the Queen Alexandra Military Hospital reference should also be made to the committee resolution dated 18 April 2002 which outlines the councils agreed approach to the future of the hospital complex and the masterplan for its redevelopment."</i> The Tate have agreed this and stated that the additional paragraph 4.24 is a helpful approach which Tate would welcome.</p> <p>The diagram shows the existing situation, with the spaces within the QAMH being private spaces and identified as such. This would not preclude opening these up in the future and it is not therefore considered this diagram needs review.</p> <p>Amended as requested.</p> <p>The site of the original boundary wall is marked by a ditch, which is an important landscape feature of considerable historic interest which the council would seek to retain. An illustration has been added at Figure 5.</p> <p>Advice has been taken from the Arboricultural Officer see comments above. They have indicated that the trees at the Tate may be considered to be more pleasing in terms of their appearance than those trees which have to be reduced regularly, an opinion also voiced by residents at the public meeting.</p> <p>A reference to tree management has been added in the grey policy box of the trees section.</p>

Consultation responses		Council response
Consultee	Comments	
Tate contd	<ul style="list-style-type: none"> Reference to contribution of land uses to character of conservation area and to split between residential and institutional uses is ambiguous. Whilst it is acknowledged there are different areas of use, it is not considered changes to these would affect the character of the CA. Tate servicing: noted that the view into the servicing area at the rear has a negative impact. Under the masterplan this view would be removed and enhanced. 	<p>Disagree. The existence of the Tate in this location and the mix of uses is fundamental to the character of the Conservation Area. Whilst some changes to types of uses may be acceptable, a mix of uses should be retained.</p> <p>The improvement of the servicing area would be welcomed.</p>
CityWest Homes	<ul style="list-style-type: none"> Welcome this latest initiative by Development Planning services. Will resist visual clutter caused by satellite dishes on facades. Are intending to produce a Conservation Area Asset Management Plan for Millbank Estate. 	<p>Welcome support and the idea of a management plan for the Millbank Estate.</p>
Irene Carter	<ul style="list-style-type: none"> Concerned about the severity of tree pruning works undertaken on the Millbank Estate. 	<p>The pruning regime is maintained on a 2 year cycle. The old pollard points can only maintain branches of a certain length otherwise they would snap in the wind damaging the tree or injuring a member of public.</p> <p>When trees are pruned on a 3 yearly basis there have been complaints from residents that branches tap against the windows keeping people awake.</p> <p>This type of pruning has no detrimental affect on trees and increases longevity.</p>

WESTMINSTER CITY COUNCIL

STATEMENT OF DECISION

SUBJECT: Millbank Conservation Area – Adoption of Conservation Area Audit as Supplementary Planning Guidance

Notice is hereby given that Councillor Robert Davis, the Cabinet Member for Customer Services, has made the following executive decision on the above mentioned subject for the reasons set out below.

Summary of Decision

Adopted the Millbank Conservation Area Audit attached in appendix 5 of the report as Supplementary Planning Guidance.

Reason for Decision:

National guidance places responsibility on the Council to produce detailed appraisals of each of its 53 conservation areas. The Millbank Conservation Area Audit has been through a process of public consultation and has received general support. The only significant concern, relating to the identification of unlisted buildings of merit within the Audit, has been addressed by amendments to the Audit.

Declaration of Interest:

Councillor Davis has declared, in respect of the report, that he knows Tony Hutt of Four Communications PLC who represents the Tate through his work as a Councillor and he knows other members of staff of the Tate too. This interest is not considered to be prejudicial in terms of Councillor Davis approving the recommendation.

C T Wilson
Director of Legal and Administrative Services
Westminster City Hall
64 Victoria Street
LONDON
SW1E 6QP
Publication Date: 10 January 2005
Decision Ref: no. CMfCS/28/2004

LISTED BUILDINGS & OTHER DESIGNATIONS

LISTED BUILDINGS

The list of buildings of special architectural or historic interest set out below was prepared in January 2005. As new buildings are constantly being listed this list should not be treated as definitive.

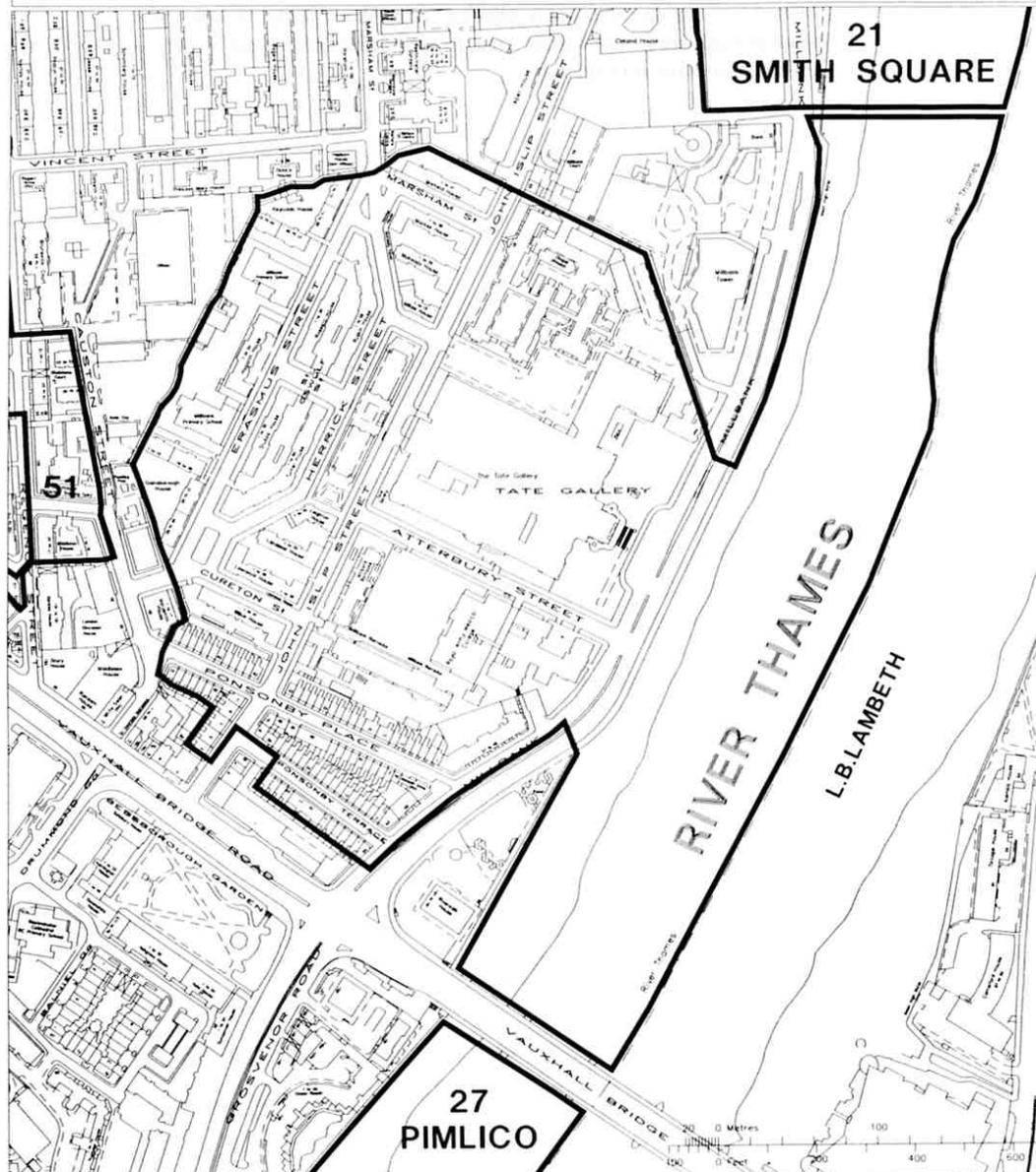
At the time of preparation there were 36 statutory listings: two Grade II*, and thirty-five Grade II structures, including a telephone box, railings and gates, and two statues.

Royal Army College		Atterbury Street	SW1	2
Statue - Sir James McGrigor		Atterbury Street	SW1	2
Wilkie House		Cureton Street	SW1	2
Gainsborough House		Erasmus Street	SW1	2
Hogarth House		Erasmus Street	SW1	2*
Millbank Primary School		Erasmus Street	SW1	2
Millbank Secondary School		Erasmus Street	SW1	2
Reynolds House		Erasmus Street	SW1	2
Rossetti House		Erasmus Street	SW1	2
Romney House		Erasmus Street	SW1	2
Turner House		Herrick Street	SW1	2
Ruskin House		Herrick Street	SW1	2
Landseer House		John Islip Street	SW1	2
Lawrence House		John Islip Street	SW1	2
Leighton House		John Islip Street	SW1	2
Maclise House		John Islip Street	SW1	2
Millais House		John Islip Street	SW1	2
Mulready House		John Islip Street	SW1	2
Moreland House		John Islip Street	SW1	2
	46	Millbank	SW1	2
	47	Millbank	SW1	2
	48	Millbank	SW1	2
	49	Millbank	SW1	2
	50	Millbank	SW1	2
	51	Millbank	SW1	2
	52	Millbank	SW1	2
	53	Millbank	SW1	2
	54	Millbank	SW1	2
	55	Millbank	SW1	2
	56	Millbank	SW1	2
	57	Millbank	SW1	2
Public House	58	Millbank	SW1	2
Tate Gallery		Millbank	SW1	2*
Gates - Tate Gallery		Millbank	SW1	2
Statue - Sir John Millais		Millbank	SW1	2
Telephone Box - K2 - Adjacent to No. 48		Millbank	SW1	2

ADJACENT CONSERVATION AREAS

City of Westminster
Planning and Environment Department
Westminster City Hall Victoria Street SW1E 6QP

MILLBANK CONSERVATION AREA ADJACENT CONSERVATION AREAS



BASE MAP REPRODUCED/DERIVED FROM THE ORDINANCE SURVEY WITH THE PERMISSION OF THE CONTROLLER OF HER MAJESTY'S STATIONERY OFFICE. © CROWN COPYRIGHT (YEAR AS MAP DATE), WESTMINSTER CITY COUNCIL, LA 998.
CONSERVATION AREA NUMBER 28 Scale - Nor

*Adjacent Conservation Areas -
the following conservation areas adjoin this conservation area:
SMITH SQUARE (21) - PIMLICO (27) is separated from it only by the Vauxhall Bridge*

Conservation Areas adjacent to or close to Millbank include Smith Square (210, Pimlico (27) and Regency Street (51).

ARTICLE 4 DIRECTIONS

There are no Article 4 Directions in the Millbank Conservation Area.

REGULATION 7 DIRECTION

There are no Regulation 7 directions covering the Millbank Conservation Area.

STRATEGIC VIEWS

There are no strategic views which cross the Conservation Area.

PUBLICATIONS & SOURCES OF FURTHER INFORMATION

Westminster Publications and Design Guides

Unitary Development Plan

The adopted City of Westminster Unitary Development Plan 1997 and the Replacement Unitary Development Plan (2nd deposit version, pre-inquiry version and modifications agreed May, September and December 2004).

This can also be viewed on the Internet at:

<http://www.westminster.gov.uk/planningandlicensing/udp/index.cfm>.

Supplementary Guidance and Design Guides

These are available from One Stop Services (see addresses under 'contact details') or can be viewed on the Westminster City Council Website.

1. Conservation areas: A Guide to Property Owners
2. A Guide to Providing Access for All
3. A Guide to the Siting of Satellite Dishes and other Telecommunications Equipment
4. A Guide to the Siting of Security Cameras and Other Security Equipment
5. Design Matters in Westminster – Supplementary Planning Guidance on creating good City architecture
6. Designing out Crime in Westminster
7. Development and Demolition in Conservation Areas
8. Façade Cleaning - The removal of soiling and paint from brick and stone facades
9. Lighting Up the City - A good practice guide for the illumination of buildings and monuments
10. Plant and Air Conditioning Equipment - Guidance notes on applications for planning permission
11. Public Art in Westminster
12. Public CCTV Systems – Guidance for Design and Privacy
13. Railings on Domestic Buildings in Westminster
14. Roofs - A Guide to Alterations and Extensions on Domestic Buildings
15. Trees and other Planting on Development Sites
16. A brief Guide to Planning Enforcement
17. Shopfronts, Blinds and Signs: 'A Guide to their Design
18. Advertisement Design Guidelines

Further Reading

1. Bradley, s and Pevsner (2003), *The Buildings of England. London 6: Westminster*. Yale University Press
2. Watson, Isobel (1993) *Westminster and Pimlico Past*
3. Weinreb and Hiberrt (1983) *The London Encyclopedia*

Local History

For information on all aspects of local history contact:

City of Westminster Archive Centre
10 St. Ann's Street
London SW1P 2XR
General Enquiries: Tel: **(020) 7641 5180**

WESTMINSTER CITY COUNCIL CONTACTS LIST

Planning Information

For general information, to obtain planning application forms and copies of publications, to find out if a property is listed or in a conservation area or to make an enforcement complaint, contact:

Planning Records (Customer Service Centre)

Tel: **(020) 7641 2513** or Fax: **(020) 7641 2515**

Email: PlanningInformation@westminster.gov.uk

Planning Advice

For advice about planning permission, conservation area, listed building or advertisement consent, design and restoration advice, restrictions in Article 4 Direction Areas, lawful development certificates and details of design guide publications contact the area planning team

South Area Team (Addresses in SW1, SW7, WC2 and EC4)

Tel: **(020) 7641 2681** or Fax: **(020) 7641 2339**

Email: SouthPlanningTeam@westminster.gov.uk

Or write to:

Development Planning Services

Department of Planning and City Development

Westminster City Council

City Hall, 64 Victoria Street,

London SW1E 6QP

One Stop Services

Where you can view or purchase the Council's Unitary Development Plan and other documents giving advice on access and design matters. The addresses are:

62 Victoria Street, SW1

(Open 8.30am - 7pm Monday, Tuesday, Wednesday, Thursday & Friday; 9am - 1pm Saturday)

317 Harrow Road, W9

(Open 8am - 5pm Monday, Wednesday & Friday; 8am - 7pm Tuesday & Thursday)

91-93 Church Street, NW8

(Open 8am - 5pm Monday, Tuesday, Wednesday & Friday; 8am - 7pm Thursday; 9am - 3pm Saturday)

Trees

For advice on trees, planting, works to trees and tree care and Tree Preservation Orders, tree planting programmes and greening policies:

Tree Section

Environment and Leisure Department

Westminster City Council

City Hall, 64 Victoria Street

London SW1E 6QP

Tel: **(020) 7641 2618** or Fax: **(020) 7641 2959**

Millbank Estate

For queries with regards to repair and maintenance of properties on the Millbank Estate contact:

**Millbank Estate Office
Reynolds House Courtyard
Erasmus St
Millbank Estate
London SW1**

Further Information

For contacts regarding other frequently used services refer to the City Council's booklet '**A-Z Guide, Your Guide to Council Services**' available from One Stop Services, Libraries and Council Information Points or by contacting: Tel: **(020) 7641 8088** or Fax: **(020) 7641 2958**

Braille, tape or large print versions are available by ringing **(020) 7641 8088**. Reference copies in these formats can be found at the City Council's One Stop Services and Libraries.

Alternatively you can ring the City of Westminster General Inquiries number for assistance. Tel: **(020) 7641 6000**

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Puede que el inglés no sea su lengua materna y si no tiene un amigo o familiar que pueda traducirselo, nosotros podemos enviarle una traducción. Por favor escriba a la dirección que a continuación figura indicando su nombre, dirección y su lengua materna.

French

Si l'anglais n'est pas votre langue principale et si vous n'avez pas un ami ou un membre de votre famille qui puisse le traduire pour vous, nous pourrions vous en faire parvenir une traduction. Ecrivez à l'adresse ci-dessous en donnant votre nom, adresse, et première langue.

Portuguese

Talvez Inglês não seja a sua primeira língua, e caso você não tenha um amigo ou parente que possa traduzi-lo para você, nos podemos tomar providências para que uma tradução lhe seja enviada. Favor escrever para o endereço abaixo, dando o seu nome, endereço e a sua primeira língua.

Chinese

如果英語不是你的母語，而且你沒有親戚或朋友能為你翻譯這份文件，我們可以安排寄給你一份翻譯。請寫信到以下的地址，告訴我們你的姓名，地址和母語。

Bengali

যদি ইংরেজী আপনার প্রথম ভাষা না হয় এবং আপনার কোনো আত্মীয় বা বন্ধু না থাকে, যিনি আপনার জন্য এই ডকুমেন্ট অনুবাদ করতে পারেন, তাহলে আপনাকে আমরা একটি অনুবাদ পাঠাতে পারি। অনুগ্রহ করে নিচের ঠিকানায় লিখুন, আপনার নাম, ঠিকানা ও প্রথম ভাষা উল্লেখ করুন।

Arabic

إذا لم تكن الانكليزية هي لغتك الأصلية، ولا يوجد لديك من أقارب أو أصدقاء ممن يستطيع مساعدتك في ترجمة هذه الوثيقة، فمن الممكن أن نرتب لك مترجماً. يرجى الكتابة إلى العنوان أدناه مع ذكر اسمك وعنوانك ولغتك الأصلية.

Urdu

اگر انگریزی آپ کی پہلی زبان نہیں ہے، اور آپ کا کوئی ایسا رشتہ دار یا دوست نہیں ہے کہ جو اس دستاویز کا ترجمہ آپ کے لئے کر سکے، تو ہم آپ کے لئے ترجمہ سمجھوانے کا انتظام کر سکتے ہیں، برائے مہربانی، اپنا نام، پتہ، اور پہلی زبان جو آپ بولتے ہیں، نیچے دیئے گئے پتہ پر لکھیں۔

Farsi

چنانچه انگلیسی زبان اصلی شما نیست و فامیل و دوستی نیز ندارید تا این سند را برایتان ترجمه کند، میتوان ترجمه آن را برایتان ارسال کنیم. برای این کار لطفاً با ذکر نام، آدرس و زبان مادری یا آدرس زیر مکاتبه کنید.

Serbo Croat

Ako engleski nije vaš maternji jezik i nemate rodaka ili prijatelja koji bi mogli da vam prevedu ovaj tekst, mi vam možemo poslati prevod. Molimo vas da napišete pismo na dole pomenutu adresu i da u njemu navedete vaše ime, adresu i maternji jezik.

Conservation Area Audit
Department of Planning and City Development
Westminster City Council
64 Victoria Street
London SW1E 6QP